



PROPERTY INFO PACK

188 OLLIVIERS ROAD, LINWOOD

PREPARED BY MORGAN PERRY

OFFICE ROAD
REAL ESTATE

AGENT X (2021) LTD - LICENSED AGENT REAA (2008)



MORGAN
PERRY
RESIDENTIAL

188 OLLIVIERS ROAD, LINWOOD

FAMILY OPPORTUNITY ON OLLIVIERS

FEATURES:



120m²



4



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PROPERTY DETAILS:

Address: 188 Olliviers Road, Linwood

Legal Description: Flat 1 & Garage DP 78542

Property Type: House

Sale by: Price by Negotiation

Close To: CBD, Bars, Cafes, Bus Routes

PROPERTY DESCRIPTION:

Calling all families or investors; this one's for you!

Primely positioned, this four-bedroom, one-bathroom property includes 120m² of floor area, with an additional garage converted to a studio, encompassing two extra rooms, allowing for large or growing families.

Sitting on a half share of 986m², with beautifully manicured gardens and box hedging, 1/188 Olliviers Road showcases traditional natural polished timber finishing, striking you with a natural earthy feeling the minute you step through the front door.

Encompassing three large double bedrooms, one smaller double, open plan living and dining, including a breakfast bar, making those nights entertaining or early morning pre-school breakfasts a breeze.

With winter on the horizon, Olliviers Road has you covered with an inbuilt Kent Logfire (permitted until 2033), as well as an additional heat pump, so sit back with the family, 'cup of joe' in hand, flick on Netflix and relax after a long week at work.

Nestled in a prime location and close to all that the CBD has to offer including; the soon to be constructed Canterbury Multi-Use Arena (6 mins drive), The Margaret Mahy Family Playground (6 mins drive), and Hoyts EntX (7 mins drive) amongst an array of pubs, bars and restaurants both within and just outside of the immediate suburb. It's fair to say you've got the weekends covered!

This opportunity does not come by often, so please contact Morgan Perry today for an exclusive private viewing or attend one of our open homes!

Key Features; - 4 double bedrooms, 2 room studio, 4-minute drive to the CBD, Easy care section, Manicured gardens and box hedging, Inbuilt log burner

Please be aware that this information may have been sourced from RPNZ/Property Guru/Land Information New Zealand/ Local Council and we have not been able to verify the accuracy of the same. Refer to our Passing Over of Information Statement located in the footer menu of www.officeroad.co.nz

PROPERTY PHOTOGRAPHY



PROPERTY PHOTOGRAPHY



PROPERTY PHOTOGRAPHY



OPEN HOME DATES

1. Open Home One: Check Trademe for available times

2. Open Home Two: Check Trademe for available times

3. Open Home Three: Check Trademe for available times

4. Open Home Four: Check Trademe for available times

PRIVATE VIEWINGS

***Private viewings available upon request

CONTACT DETAILS

P: 0274131640

E: MORGAN@OFFICEROAD.CO.NZ

W: MORGANPERRY.CO.NZ

W: OFFICEROAD.CO.NZ

W: MORGANPERRY.CO.NZ

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CERTIFICATE OF TITLE

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**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
CROSS LEASE**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier CB45A/808

Land Registration District Canterbury

Date Issued 19 May 1999

Prior References

CB33F/735

Estate Fee Simple - 1/2 share
Area 986 square metres more or less
Legal Description Lot 47 Deposited Plan 970

Registered Owners

Deana Vicki Wilson and Helen Margaret Leahy

Estate	Leasehold	Instrument	L A405994.3
		Term	999 years commencing on 10 December 1998

Legal Description Flat 1 Deposited Plan 78542 and Garage with Flat 1 Deposited Plan 78542

Registered Owners

Deana Vicki Wilson and Helen Margaret Leahy

Interests

951775.1 Lease of Flat 2 DP 58274 CT CB34D/629 issued - 27.8.1991 at 9.01 am

A82217.1 Lease of Flat 3 DP 64779 CT CB38B/113 issued - 22.11.1993 at 9.01 am

A405994.3 Lease of Flat 1 and Garage 1 DP 78542 Term 999 years commencing on 10 December 1998 Composite CT CB45A/808 issued - 19.5.1999 at 1.30 pm

11313707.3 Mortgage to ANZ Bank New Zealand Limited - 14.12.2018 at 4:29 pm

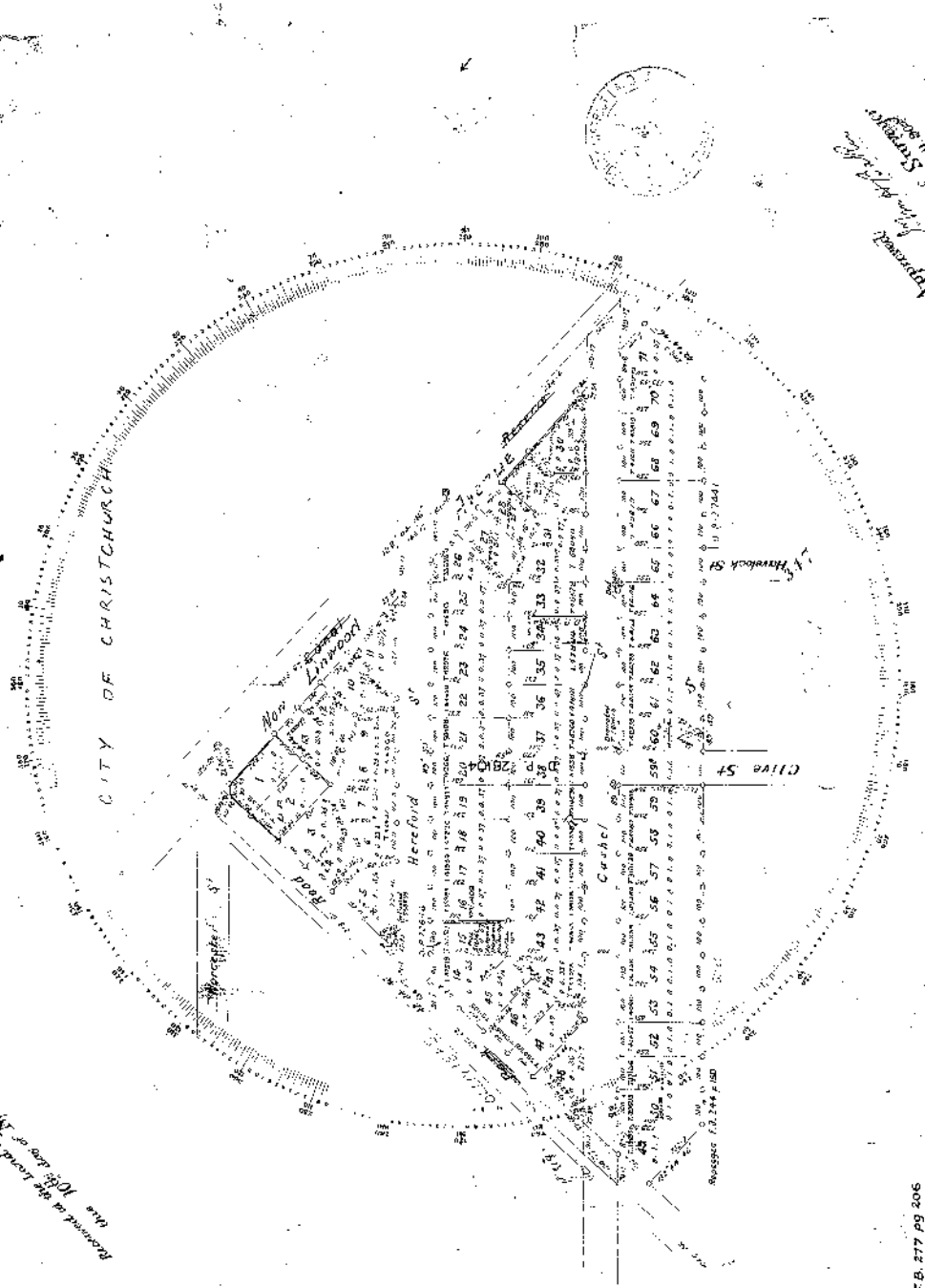
<p style="text-align: center;">Approvals</p> <p style="text-align: center;">30/09/99 <i>[Signature]</i> Registered Inspector</p>	<p>Refer to Section 229 Resource Management Act 1991 dated ... day of ... 1999.</p> <p>The Canterbury City Council has approved this plan in accordance with the provisions of the Resource Management Act 1991 and the provisions of the District Plan.</p> <p>IN WITNESS WHEREOF THE COMMON SEAL OF THE CHRISTCHURCH CITY COUNCIL was affixed in the presence of the Mayor/District Administrator/Officer</p> <p><i>[Signature]</i> Mayor/District Administrator/Officer</p>										<p style="text-align: center;">TERRITORIAL AUTHORITY CHRISTCHURCH CITY</p> <p>Surveyed by Elliott Sinclair & Partners Limited</p> <p>Sales 1:200 Date APRIL 1998</p>	<p>LAND DISTRICT CANTERBURY</p> <p>SURVEY BLK & DST. XII CHRISTCHURCH</p> <p>NZMS 261 Sheet Record Map No.</p>	<p>FLAT ERECTED ON LOT 47 D.P.970</p>
<p>CERTIFICATE OF TITLE ALLOCATED</p> <p>Flot 1 45A/808</p> <p>AREAS RESTRICTED AS TO USER</p> <p>AREA A WITH FLAT 1</p> <p>Total Area 386m²</p> <p>Comprised in 34D/629 & 38B/713 (All)</p> <p>Now Erected Outside of Control with</p> <p>Regulated Structures and use of the maximum height of 10.00m, which may be used as a replacement of the existing 10.00m height of the Survey Act 1980. The height of the structures and use of the maximum height of 10.00m will be subject to the provisions of the Resource Management Act 1991 and the District Plan.</p> <p>Survey of Christchurch: The 6th day of ... 1999 of ... day of ... 1999</p> <p>4th Day 724 & 94/35 Transit Block Reference Plan D.P. 970/542/2000 D.P.F. 5885/542/4.6/7.79 I.B. 207/PB2, 2475/PB2/2477/P1 Eriksen Approved as to Survey <i>[Signature]</i> 8/4/99 Deputy Chief Surveyor</p> <p>Deposited this 19th day of ... 1999 <i>[Signature]</i> Registrar General of Land</p> <p>File No. D.P. 785/42 Reference 10 3 59</p> <p style="text-align: right;">D.P. 785/42</p> <p style="text-align: right;">Approved CH 87/1</p>													

DP. 970

General Survey Department of New Zealand.

Survey under Section 121 of the Land Transfer Act.

Placed in the Land Transfer Office on 10th Dec 1890



see F.B. 277 79 206
 Flat Plan 27350 affects Lot 14
 Flat Plan 29587 affects Lot 68

Plan of Part of N. 347
 Surveyed by Messrs Larnach & Roberts
 Surveyors
 By J. W. G. G. G.
 Attest... 1890.

See L.T.O. file 9/63
 under "B. showing" to see track.

Approved
 10/12/90
 J. W. G. G. G.
 Surveyor



RENTAL APPRAISAL

188 OLLIVIERS ROAD, LINWOOD

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RENTAL APPRAISAL.

Date: 29 March 2022

Prepared for: Kate Strong

Thank you for requesting a rental assessment for **188 Olliviers Road, Linwood**

In the last year, our office, Harcourts Accommodation Centre, has signed and completed over 1,500 tenancies. When assessing the rental of this property, we have compared it with properties currently available for rent, and properties which we have recently been successfully tenanted. We also confer with rental statistics provided by the Ministry of Business, Innovation and Employment Bond Centre for all properties rented in Christchurch during a given six month period.

We consider this property to rent for between **\$570** and **\$590** per week (unfurnished).

What we will do for you that's different

- We negotiate more than 1,500 tenancies every year, and have over 200 combined years experience in property management to secure you the best terms to maximise your rental income.
- You will have a Property Manager & Tenancy Manager team dedicated to managing your property, so if someone is sick, or on holiday, the work still gets done.
- We pay out rents to our clients every working day of the year, so you can get your money when you want.
- Our Trust Account is independently audited - to give you added peace of mind.
- We provide a Tenant Debt Guarantee.
- Family owned and operated since 1990.

99.9% of tenants paid their rent on time
100% of homes were occupied

February 2022 statistics

Your Property Management Team



Steven Loveridge BCom (VPM)
Business Development Manager
DDI 03 371 0403
M 0274 838 115
steven@assetmanagers.co.nz



Jen Neil
Property Manager
DDI 03 371 0408
M 0274 838 119
jen@assetmanagers.co.nz

This report is a market appraisal and does not purport to be a valuation, registered or otherwise. It provides an indication only of the amount the subject property may rent for. It has been prepared based on information provided and incorporates no warranty or guarantee as to the accuracy of the information which has been provided. Any person who relies on this report for any purpose does so in all respects at their own risk. The rental estimate is provided on the presumption that the home meets all legislative requirements under the Residential Tenancies Act and other relevant legislation, regulations and policies (including all Acts or Regulations in amendment, consolidation or substitution therefor). Your property may not be able to be rented if it is not compliant with the Residential Tenancies Regulations 2016 and Residential Tenancies (Healthy Homes Standards) Regulations 2019. Information about these regulations can be found here: <http://tenancy.govt.nz>



COUNCIL RATES & FEES

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Rates and valuation search

Start typing the street number (not the unit number) and name in the search box to view rates and valuation details.

Tip: If you're having trouble finding a unit or flat, try the Alternative Search, or try entering the house number, street name and then unit number (e.g. 1 Main Road 34).

Property Information

Rates Details

For the Rating Year 1 July 2021 to 30 June 2022

Christchurch City Council

Description of Rates	Factor For Calculation	Value of Factor	% Rate/\$ Charge	Amount (GST incl)
General Rate: Standard	Capital Value	400,000	0.315506	\$1,262.02
Uniform Annual General Charge	Per Unit	1	138.000000	\$138.00
Water Connected	Capital Value	400,000	0.071436	\$285.74
Land Drainage	Capital Value	400,000	0.041885	\$167.54
Sewerage	Capital Value	400,000	0.084700	\$338.80
Waste Minimisation	Per Unit	1	196.450000	\$196.45
Active Travel Rate	Per Unit	1	20.000000	\$20.00
Heritage(Cathedral)	Per Unit	1	6.520000	\$6.52
Heritage Targeted Rate	Capital Value	400,000	0.000077	\$0.31
Heritage Arts Centre	Capital Value	400,000	0.000205	\$0.82
Total for Christchurch City Council				\$2,416.20

Canterbury Regional Council

Description of Rates	Factor For Calculation	Value of Factor	% Rate/\$ Charge	Amount (GST incl)
Works & Services	Capital Value	400,000	0.000351	\$1.40
WEC Class D	Capital Value	400,000	0.000518	\$2.07
General Rate	Capital Value	400,000	0.041199	\$164.80
Urban Transport:Chch	Capital Value	400,000	0.027709	\$110.84
WFPP Class A	Capital Value	400,000	0.000806	\$3.22
Rating Unit Annual Charge	Per Unit	1	36.710000	\$36.71
Air Quality	Capital Value	400,000	0.001214	\$4.86
Civil Defence UAGC	Per Unit	1	14.420000	\$14.42
GC Transport & Development	Capital Value	400,000	0.000398	\$1.59
Total for Canterbury Regional Council				\$339.91

TOTAL RATES

TOTAL RATES FOR 2021/2022 YEAR (GST inclusive) \$2,756.11

Receive your rates invoice by email

[Find out more](#)

[Expand all](#) | [Collapse all](#)

How your valuation is assessed



Objecting to your valuation



Changing your valuation



Due dates for instalments





PROOF OF INSURANCE

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Policy schedule

Premier House Policy

Customer

Ms Deana Wilson & Ms Helen Leahy

Insured asset

The house situated at 1/188 Olliviers road, Linwood, Christchurch
Floor area, including any Garages/Outbuildings, of 150m²

AMI reference

D0014836017

Period of cover

03/12/2021 to 03/12/2022

House sum insured

\$578,400

Total sum insured

\$578,400

Optional covers selected by you

No excess for glass or sanitary fixtures claims

Excesses applicable

Your excess is the first amount you must pay towards the cost of any claim you make.

Excess on any claim unless specifically mentioned below or in your policy wording.

Excess

\$400

Claims under Cover for your house for natural disaster damage (as defined in the Earthquake Commission Act 1993) to items not covered by the Earthquake Commission.

\$5,000

No excess applies to certain sections of your policy, please refer to your policy wording and any Special Terms included in this Policy Schedule.

Interested parties

ANZ Bank New Zealand Limited

Private Bag 92210, Victoria St West, Auckland 1142, NEW ZEALAND

Special terms

We will not pay for any costs of additional materials, work or expense required solely to comply with Government or local authority bylaws and regulations, if those costs are required solely to meet the requirement of Government or local authorities to reduce the exposure to a natural hazard at the home.

An excess of \$2,500 applies to any claim for water entering the Home as a result of flood, or inundation by seawater, replacing the excess shown in the schedule.

For the purpose of this endorsement, flood means the covering of normally dry land:

- i. by water that has escaped or been released from the normal confines of:
 - a. any lake, or any river, creek or other natural watercourse, whether or not altered or modified, or
 - b. any reservoir, canal or dam,
- ii. by rain water pooling or failing to drain away.

An excess of \$2,900 applies to any claim for loss or damage caused by Flood.

IMPORTANT: This schedule forms part of your policy and replaces any previous schedule. Please refer to www.ami.co.nz/policy-documents for a copy of the policy wording that accompanies this contract.

Please keep it with your policy. If any of the above details are incorrect, please contact us.



EQC

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EQC Full Assessment Report

Claim Number: CLM/2011/060039
Claimant: CHRIS STOTT
Property Address: 188 OLLIVIERS ROAD
LINWOOD
CHRISTCHURCH 8011

Assessment Date: 06/10/2011 17:40
Assessor: Titheridge, Paul
Estimator: Mowat, John
Property Occupied By: Owner Occupied

Claimant Setup

Type	Name	Home Number	Mobile Number	Work Number	Email Address
Owner	CHRIS, STOTT	[REDACTED]			

Insurance & Mortgage Details

Insurance Details - From Claim Centre

Insurer	Policy Type	Policy Number	Insurance Sighted	Insurance Valid
Westpac (Lumley Group)	Dwelling	[REDACTED]	Yes	

Insurance Details - Added in COMET

Insurer	Policy Type	Policy Number	Insurance Sighted	Insurance Valid
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Insurance Details - Comments

Mortgage Details - From Claim Centre

Bank

Mortgage Details - Added in COMET

Bank

Mortgage Details - Comments

Opt Out

For repairs costing between \$10,000 and \$100,000 the claimant wishes to manage their own repairs? No

Hazards

Hazards: Nil
Property Sticker: No Sticker

Building Configurations

Leaky Home Syndrome? No

Building Name	Number of floors	Building Finish	Age of house	Footprint	Area (m2)
Main Building	1	Standard	<1935	Rectangular	117.48
Garage	1	Standard	Post 1980	Rectangular	29.38

Full Assessment

Site

Element	Type	Material	Damages	Measure	Rate	Cost
Land	Exposed	Soil	No Earthquake Damage			
Land	Under dwelling	Soil	No Earthquake Damage			

General Comments:

Services

Element	Type	Material	Damages	Measure	Rate	Cost
Sewerage	Town Connection	Clay pipes	No Earthquake Damage			
Water Supply	Town Connection	Steel	No Earthquake Damage			

General Comments:

Main Building

Exterior

Elevation (North wall)

Damage: No damage
Require Scaffolding? No
General Comments: painter weatherboard 3.2m x 13m

Elevation (South wall)

Damage: Earthquake damage
Require Scaffolding? Yes

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Weatherboard	Timber	Damaged finish Gap fill and paint	41.60 m2	38.00	1,580.80
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments: painter weatherboard 3.2m x 13m
Impact damage

Elevation (East wall)

Damage: Damage but not earthquake related
Require Scaffolding? No
Non Earthquake Notes: Defered maintance
General Comments: painter weatherboard 3.2m x 10

Elevation (West wall)

Damage: Earthquake damage
Require Scaffolding? Yes

Element	Type	Material	Damages	Measure	Rate	Cost
Porch / Veranda	External	Timber	Cosmetic damage Paint surface	26.00 m2	29.00	754.00
			Structural damage Remove and replace	26.00 m2	300.00	7,800.00
Wall Cladding	Weatherboard	Timber	Cracking to paint Gap fill and paint weatherboards	32.00 m2	38.00	1,216.00
Wall framing	Timber Frame	Timber	No Earthquake Damage			

General Comments: painter weatherboard 3.2m x 10m damaged
Varanda collapsed

Roof (Rolled metal)

Damage: Earthquake damage
Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Roof Covering	Pitched	Steel	Impact damage Remove Supply and install colour steel	70.00 m2	100.00	7,000.00

Roof Covering	Pitched	Steel	Impact damage	Remove, dispose and install steel ridge capping	30.00 l/m	55.00	1,650.00
			Impact damage	Paint roof	140.00 m2	45.00	6,300.00
Roof framing	Framed	Timber	Structural damage	Fix timber only - labour only	4.00 l/m	12.80	51.20

General Comments: two collapsed chimneys roof damaged north & south elements tempary repaired water tight Repair & paint damaged area

Foundations

Damage: Damage but not earthquake related
Require Scaffolding? No
Non Earthquake Notes: floor of level consistant with settelment over time
General Comments: Stone piles

Ground Floor - Lounge (North aspect)

Damage: Earthquake damage
Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	Cosmetic Damage			
			Paint Ceiling	22.80 m2	24.00	547.20
			Structural damage			
			Remove lath and plaster and replace with plasterboard and stop	22.80 m2	135.00	3,078.00
Door (Internal)	Single Solid Core	Rimu	No Earthquake Damage			
Floor	T&G	T+G polished timber	No Earthquake Damage			
Heating	Wood	Wood burner	Structural damage			
			Remove, dispose and replace log burner	1.00 item	2,900.00	2,900.00
One story chimney	Double Pot	Brick	Collapsed chimney			
			INT - Brick - To base - 2 POT	1.00 item	8,610.00	8,610.00
Wall covering	Gib	Wall paper / paint	Cosmetic damage			
			Remove, dispose and replace wallpaper - paint	25.22 m2	67.00	1,689.74
Window	Timber medium	Pane single glazed	No Earthquake Damage			

General Comments: Cosmetic...ceiling
Walls are 1.75 high rimu panelling, then painted wallpaper to ceiling

Ground Floor - Hallway

Damage: No damage
Require Scaffolding? No
General Comments: Lath and plaster ceiling and 1 m of walls, 2.1 m of rimu panelling, Solid timber exterior door,nil damage

Ground Floor - Bedroom (Northwest aspect)

Damage: Earthquake damage
Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Lath and Plaster	Lining paper / paint	Cosmetic Damage			
			Remove, dispose and replace lining paper	16.40 m2	30.00	492.00
			Cosmetic Damage			
			Paint Ceiling	16.40 m2	24.00	393.60
			Structural damage			
			Remove lath and plaster and replace with plasterboard and stop	16.40 m2	135.00	2,214.00
Door (Internal)	Single Solid Core	Rimu	Cosmetic damage			

Door (Internal)	Single Solid Core	Rimu	Ease and repaint door/varnish	1.00	No of	130.00	130.00
Floor	T&G	T+G polished timber	No Earthquake Damage				
Wall covering	Lath & Plaster	Wall paper / paint	Cosmetic damage				
			Remove, dispose and replace wallpaper - paint	38.88	m2	67.00	2,604.96
			Structural damage				
Window	Timber Large	Pane single glazed	Remove lath and plaster, replace with plasterboard (Excluding trim)	38.88	m2	135.00	5,248.80
			Broken glass				
			Remove and reglaze 4mm single	0.48	m2	360.00	172.80
Window	Timber Large	Pane single glazed	Broken glass				
			Remove and reglaze 4mm single	0.48	m2	360.00	172.80
			Broken glass				
Window	Timber Large	Pane single glazed	Remove and reglaze 4mm single	0.48	m2	360.00	172.80
			Broken glass				
			Remove and reglaze 4mm single	0.48	m2	360.00	172.80

General Comments: Structuralceiling, walls.
Note..ornate fireplace surround features in room

Ground Floor - Bedroom (South aspect ..opposite lounge)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost	
Ceiling	Lath and Plaster	Paint	Cosmetic Damage				
			Paint Ceiling	11.89	m2	24.00	285.36
			Structural damage				
Door (Internal)	Single Solid Core	Rimu	Remove lath and plaster and replace with plasterboard and stop	11.89	m2	135.00	1,605.15
			No Earthquake Damage				
			No Earthquake Damage				
Floor	T&G	T+G polished timber	No Earthquake Damage				
One story chimney	Double Pot	Brick	Collapsed chimney				
			INT - Brick - To base - 2 POT	1.00	item	8,610.00	8,610.00
			Cosmetic damage				
Wall covering	Lath & Plaster	Paint	Paint wall	43.40	m2	24.00	1,041.60
			Structural damage				
			Remove lath and plaster, replace with plasterboard (Excluding trim)	43.40	m2	135.00	5,859.00
Window	Timber Large	Pane single glazed	No Earthquake Damage				

General Comments: Structural....shattered lath walls and ceiling.
Ornate fireplace surround in room

Ground Floor - Bedroom (Southwest aspect)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost	
Ceiling	Lath and Plaster	Lining paper / paint	Cosmetic Damage				
			Paint Ceiling	16.40	m2	24.00	393.60
			No Earthquake Damage				
Door (Internal)	Single Solid Core	Rimu	No Earthquake Damage				
Floor	T&G	T+G polished timber	No Earthquake Damage				
Wall covering	Lath & Plaster	Wall paper / paint	Cosmetic damage				
			Remove, dispose and replace wallpaper - paint	50.22	m2	67.00	3,364.74
			No Earthquake Damage				
Window	Timber Large	Pane single glazed	No Earthquake Damage				

General Comments: Cosmetic...walls

Ground Floor - Bedroom (South east aspect)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Lath and Plaster	Paint	Cosmetic Damage			
			Paint Ceiling	16.40 m2	24.00	393.60
			Structural damage			
			Remove lath and plaster and replace with plasterboard and stop	16.40 m2	135.00	2,214.00
Door (Internal)	Single Solid Core	Rimu	No Earthquake Damage			
Floor	T&G	T+G polished timber	No Earthquake Damage			
Wall covering	Lath & Plaster	Paint	Cosmetic damage			
			Rake out, plaster and paint	22.67 m2	27.00	612.09
			Cosmetic damage			
			Paint wall	22.67 m2	24.00	544.08
			Structural damage			
			Remove lath and plaster, replace with plasterboard (Excluding trim)	22.67 m2	135.00	3,060.45
Window	Timber Large	Pane single glazed	No Earthquake Damage			

General Comments: Structural damage on 2 walls and ceiling

Ground Floor - Laundry

Damage: No damage

Require Scaffolding? No

General Comments: Gibbed walls and ceiling, timber fixed window, concrete and t and g barevfoot boards, solid external door

Ground Floor - Bathroom (Bathroom/Toilet)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Bath	Cast iron	Standard specification	No Earthquake Damage			
Bathroom Sink	Vanity single	Standard specification	No Earthquake Damage			
Ceiling	Gib	Paint	Cosmetic Damage			
			Rake out, plaster and paint	7.80 m2	27.00	210.60
Door (Internal)	Single Hollow Core	Rimu	No Earthquake Damage			
Floor	Concrete	Painted dust sealed	No Earthquake Damage			
Shower	Over Bath with Curtain	Acrylic shower	No Earthquake Damage			
Toilet	Standard	Standard Spec	No Earthquake Damage			
Wall covering	Gib	Paint	Structural damage			
			Remove dispose and replace Gib, stop, hang lining / wall paper , paint	2.88 m2	142.00	408.96
Window	Louvered	Pane single glazed	No Earthquake Damage			
Window	Timber small	Pane single glazed	No Earthquake Damage			

General Comments: Water damaged section of gib has been affected from disruption to header tank during quakes. Cosmetic.. Walls, ceiling

Ground Floor - Kitchen (North east)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	Cosmetic Damage			
			Rake out, plaster and paint	10.80 m2	27.00	291.60
Door (External)	Single glass door	Timber	Cosmetic damage			
			Reglaze broken glass 4mm	0.05 m2	102.00	5.10
			Cosmetic damage			
			Ease and repaint door	1.00 No of	210.00	210.00

Floor	T&G	T+G polished timber	No Earthquake Damage
Kitchen joinery	Medium Spec	Timber	No Earthquake Damage
Range (Free standing oven)	Electric	Standard Electric	No Earthquake Damage
Wall covering	Gib	Paint	No Earthquake Damage
Window	Timber medium	Pane single glazed	No Earthquake Damage

General Comments: Cosmetic damage

Garage

Exterior

Elevation (East wall)

Damage: No damage

Require Scaffolding? No

General Comments: skyline metal weatherboards 3.8m x 3m

Elevation (West wall)

Damage: No damage

Require Scaffolding? No

General Comments: skyline metal weatherboards 3.8m x 3m

Elevation (North wall)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Wall Cladding	Weatherboard	Colour Steel	Damaged finish			
			Paint wall	17.60 m2	29.00	510.40

Wall framing Timber Frame Timber No Earthquake Damage

General Comments: skyline metal weatherboards 8m x 2.2m

Elevation (South wall)

Damage: No damage

Require Scaffolding? No

General Comments: skyline metal weatherboards 3.8m x 3m

Roof (Rolled metal)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Roof Covering	Pitched	Steel	Impact damage			
			Remove Supply and install colour steel	5.00 m2	100.00	500.00
Roof framing	Framed	Timber	No Earthquake Damage			
Spouting	Gutter	Colour steel	Impact damage			
			Remove supply	8.00 l/m	74.08	592.64

General Comments: Impact damage

Foundations

Damage: No damage

Require Scaffolding? No

General Comments: Concrete slab 8m x 3.8m

Ground Floor - Room (Other) (Inside garage)

Damage: Earthquake damage

Require Scaffolding? No

Element	Type	Material	Damages	Measure	Rate	Cost
Ceiling	Gib	Paint	No Earthquake Damage			
Door (External)	Single solid Door	Steel	No Earthquake Damage			
Floor	Concrete	Carpet	No Earthquake Damage			

Garage door	Tilt-a-door Metal	Steel	No Earthquake Damage
Hand basin	Wall hung	PVC	No Earthquake Damage
Wall covering	Gib	Paint	No Earthquake Damage
Wall framing	Timber Frame	Timber	No Earthquake Damage
Window	Timber medium	Pane single glazed	

General Comments:

Fees

Fees

Name	Duration	Estimate
Scaffold hire - Mobile single lift aluminium	2.00	300.00
Contents movement fee	1.00	1,248.35
Small Job Fee	1.00	180.00

Overheads

Name	Estimate
Preliminary and general	6,825.51
Margin	9,387.27
GST	15,489.00

Scope Of Works Estimate

Property

Description	Estimate
Site	0.00
Services	0.00
	0.00

Main Building

Name	Description	Estimate
Exterior	Foundations	0.00
	Elevation (East wall)	0.00
	Elevation (North wall)	0.00
	Roof (Rolled metal)	15,001.20
	Elevation (South wall)	1,580.80
	Elevation (West wall)	9,770.00
		26,352.00

Floor	Description	Estimate
Ground Floor	Bathroom (Bathroom/Toilet)	619.56
	Bedroom (Northwest aspect)	11,428.96
	Bedroom (South aspect ..opposite lounge)	17,401.11
	Bedroom (South east aspect)	6,824.22
	Bedroom (Southwest aspect)	3,758.34
	Hallway	0.00
	Kitchen (North east)	506.70
	Laundry	0.00
	Lounge (North aspect)	16,824.94
		57,363.83

57,363.83

Garage

Name	Description	Estimate
Exterior	Foundations	0.00
	Elevation (East wall)	0.00
	Elevation (North wall)	510.40
	Roof (Rolled metal)	1,092.64
	Elevation (South wall)	0.00
	Elevation (West wall)	0.00
		1,603.04

Floor	Description	Estimate
Ground Floor	Room (Other) (Inside garage)	0.00
		0.00

0.00

Fees

Description	Estimate
Scaffold hire - Mobile single lift aluminium	300.00
Contents movement fee	1,248.35
Small Job Fee	180.00
	1,728.35

Overheads

Description	Estimate
Preliminary and general	6,825.51

Margin	9,387.27
GST	15,489.00
<hr/>	
	31,701.78
<hr/>	
Total Estimate	118,749.01

Inspection Sign Off

Description	Answer	comments
Contents Damage		
Has the contents schedule been left with claimant?	No	
Have the contents been sighted?	No	
Land Damage		
Is there land damage?	No	
Landslip damage has been assessed on paper	No	
Was a full inspection done?		
In roof space	Yes	
On roof?	Yes	
Under sub floor?	Yes	
Decline Claim		
Recommend Declining Claim	No	
Next Action:		

Previous Claim Numbers (recorded manually in field)

- 2010/144788

File Notes

Date Created: 06/10/2011 12:00
Created : Titheridge, Paul
Subject: Snapshot
Note: Early 1900s hose, weatherboard cladding and iron roof. Exterior..collapsed verandah, roof damage and consequent impact damage to south wall. Garage roof impact damage. Interior...structural and cosmetic damage.

Next Action:

Date Created: 08/09/2012 00:04
Created : Administrator, Alchemy
Subject: COMET sent to EQR on 08/09/2012
Note: COMET sent to EQR on 08/09/2012
Next Action:

Urgent Works Items

Construction Completion Inspection – Hardcopy Version



- This form is to be used only if the iPad is unable to be used at the Completion Inspection.
- Retain the completed copy this form in the Claim File.

PROPERTY DETAILS

Claim Number 2011/060039 Hub Zone
 Property Address 188 OLLIVERS Rd. Phillipstown Supervisor MARK VINCENT
 Primary Contact Name Dale Tapper Contractor Name TK BUILD
 Date Started 15/10/13 Date Completed 28/11/13

DESCRIPTION OF WORKS Ceiling + wall repairs as per scope of works

DEFECTS

N/A



DEFERRED WORKS Paint Bottom Panel of KA. Door 28/11/13.
 AFA

This is to advise that the earthquake repair work performed under this contract has been reviewed and it has been agreed that works has been completed as per EQC Assessment, Approved EQR Scope and approved Variations, excluding any minor defects or omissions.

Contractor Signature:

Wawenttikawa
Name

[Signature]
Signature

28/11/13
Date

Homeowner/Agent Signature:

Dale Tapper
Name

[Signature]
Signature

28/11/13
Date

Contracts Supervisor:

Mark Vincent
Name

[Signature]
Signature

28/11/13
Date

on behalf of the Fletcher Construction Company as agent to EQC

CLM/2011/060039 - Construction Completion Inspection

Scope Meeting Record - Property Details			
Claim Number	CLM/2011/060039	Hub Zone	Ensors
Contractor Name	Te Kaihanga Cooperative (TK Build)	Supervisor	Mark Vincent
Property Address	188 OLLIVIERS ROAD, LINWOOD	Main Contact Name	CHRISTOPHER STOTT
Customer name	CHRISTOPHER STOTT	Customer Email	[REDACTED]
Home Phone	[REDACTED]	Mobile Phone	
Date Started	28/11/2013 01:18:37 p.m.	Date Completed	28/11/2013 02:00:00 p.m.

Description of Works

As per scope of works

Defects

NA

Deferred Works

Back door bottom panel done 29/11/13

This is to advise that the earthquake repair work performed under this contract has been reviewed and it has been agreed that works has been completed as per EQC Assessment, Approved EQR Scope and approved Variations, excluding any minor defects or omissions.

Contractor Signature:

Warren Hikuroa



28/11/2013

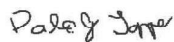
Name

Signature

Date

Owner/Agent Signature:

Dale Scott



28/11/2013

Name

Signature

Date

Fletcher Construction Company Ltd - EQR

CLM/2011/060039 - Construction Completion Inspection

Mark Vincent



28/11/2013

Name

Signature

Date

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address: 188 Oliviers Road.	
Suburb: Linwood.	
Town/City: Christchurch.	Postcode: 8011

THE PROJECT
Building consent number: 2011/060039

THE OWNER(S)	
Name(s): Chris Stott	
Mailing address: 188 Oliviers Road.	
Suburb: Linwood.	PO Box/Private Bag:
Town/City: Christchurch.	Postcode: 8011
Phone number: 03 382 6673	Email address: tapper.stott@paradise.co.nz

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Walls <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Bracing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS		
Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input checked="" type="checkbox"/>	Replace 70m ² of existing Roof cladding - damaged by Chimney collapse.	<input checked="" type="radio"/> Carried out <input checked="" type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: WARREN HIKUROA	LBP number: 121 526.
Class(es) licensed in: CARPENTRY.	
Plumbers, Gasfitters and Drainlayers registration number (if applicable):	
Mailing address (if different from below):	
Street address/Registered office: 1016 Ferry Rd.	
Suburb: Ferrymead.	Town/City: CHCH.
PO Box/Private Bag	Postcode:
Phone number: 03 423 1657.	Mobile: 021 077 0722.
After hours:	Fax:
Email address: hkbuild.warren@vodafone.co.nz.	

DECLARATION

I Warren Hikuroa carried out or supervised the restricted building work recorded on this form.

Signature: 

Date: 28-11-13

Schedule **E4** **Defects Liability Certificate**

Contract: T.K. Build (Te Kaihanga Cooperative)
Claim Number: 2011-060039
Location: 188 Olliviers road, Linwood

End of Defects Liability period

The Principal is required to issue a Defects Liability Certificate. The NBC SW Standard Conditions rule 13.1 states that:

The Principal must certify to the Contractor when in relation to the Contract Works or a Separate Section of them:

- (a) the Defects Liability Period has ended; and
- (b) the Contractor has completed all minor omissions and corrected all minor defects referred to in rule 12.1; and
- (c) the Contractor has completed agreed deferred work.

This Certificate

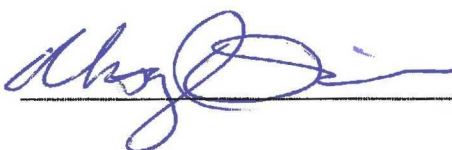
This is to certify that in accordance with rule 13.1, the above named Contract Works the Defects Liability Period has ended, all deferred work has been completed and all defects have been corrected

The issuing of this certificate does not affect the Contractor's liability to fulfil any obligation in the Contract which remains unperformed or not properly performed.

The Principal has used all reasonable care and skill in the preparation of this Certificate

The certificate cannot be relied on for any other purpose.

Signed by/date:



29/02/14
(Date signed)

CONSTRUCTION COMPLETION INSPECTION Fletcher®

Claim Number: 2011/060039
Customer/Authorised Representative: Chris Stoff + Dale Tapper
Street Address: 188 Ollivers Road, Linnwood
Contractor: TK Build

Description of Works

as per scope

Defects

N/A

Deferred Works

N/A

This is to advise that the earthquake repair work performed under this contract has been reviewed and it has been agreed that works has been completed as per EQC Assessment, Approved EQR Scope and approved Variations, excluding any minor defects or omissions.

Contractor Signature:

Waver Hixson Waver Hixson 28-11-13
Print Name Signature Date

~~Dale J Tapper~~ Dale Tapper
Owner/Agent Signature:

x Dale J Tapper Dale J Tapper 28-11-13
Print Name Signature Date

Fletcher Construction Company Ltd - EQR:

Mark Vincent Mark Vincent 28/11/13
Print Name Signature Date



LIM

188 OLLIVIERS ROAD, LINWOOD

PREPARED BY MORGAN PERRY

OFFICE ROAD
REAL ESTATE

AGENT X (2021) LTD - LICENSED AGENT REAA (2008)



**MORGAN
PERRY**
RESIDENTIAL

Land Information Memorandum



Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 1

Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984
www.ccc.govt.nz

Application details

Please supply to Morgan Perry
Client reference
Phone number
Fax number
Date issued 8 April 2022
Date received 30 March 2022

Property details

Property address 1/188 Olliviers Road
Valuation roll number 22441 14500 A
Valuation information Capital Value: \$ 400000
Land Value: \$ 170000
Improvements Value: \$ 230000
Please note: these values are intended for Rating purposes
Legal description Flat 1 DP 78542 on Lot 47 DP 970 having share in 985 m2
Existing owner Deana Vicki Wilson
Helen Margaret Leahy
1/188 Olliviers Road
Christchurch 8011

Council references

Debtor number 5032694
Rate account ID 73080128
LIM number H00899921
Property ID 1079021

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 2

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Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 10 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA). If there are no comments or information provided in these sections this means that the Council does not hold information on the property that corresponds to that part of section 44A.

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Please note that other agencies may also hold information relevant to the property, or administer legislation relevant to the use of the land, for example, the Regional Council (Ecan), Heritage New Zealand Pouhere Taonga, and Land Information New Zealand.

Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made.

Property file service

This Land Information Memorandum does not contain all information held on a property file. Customers may request property files by phoning the Council's Customer Call Centre on (03) 941 8999, or visiting any of the Council Service Centres. For further information please visit www.ccc.govt.nz.

To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.

A search of records held by the Council has revealed the following information:

1. Special features and characteristics of the land

Section 44A(2)(a) LGOIMA. This is information known to the Council but not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants.

For enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Consultant Report Available

Land Information New Zealand (LINZ) engaged Tonkin and Taylor to provide a Geotechnical Report on Ground Movements that occurred as a result of the Canterbury Earthquake Sequence. The report indicates this property may have been effected by a degree of earthquake induced subsidence. The report obtained by LINZ can be accessed on their website at <https://www.linz.govt.nz> and search Information for Canterbury Surveyors.

Liquefaction Vulnerability

Christchurch City Council holds indicative information on liquefaction hazard for Christchurch. Information on liquefaction, including an interactive web tool, can be found on the Council website at ccc.govt.nz/liquefaction. Depending on the liquefaction potential of the area that the property is in, the Council may require site-specific investigations before granting future subdivision or building consent for the property.

2. Private and public stormwater and sewerage drains

Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.

For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Related information

The property is shown to be served by a sewer drain which is shared.

The dwelling/building is shown to be served by a stormwater drain.

3. Drinking Water Supply

Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.

Please note the council does not guarantee a particular water quality to its customers. If you require information on current water quality at this property please contact the Three Waters & Waste Unit.

For water supply queries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Water Supply

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water Supply, Wastewater & Stormwater Bylaw (2014), refer to www.ccc.govt.nz.

4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

For rates enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Annual rates

Annual rates to 30/06/2022: \$ 2,756.11

	Instalment Amount	Date Due
Instalment 1	\$ 688.96	15/09/2021
Instalment 2	\$ 688.96	15/12/2021
Instalment 3	\$ 688.96	15/03/2022
Instalment 4	\$ 689.23	15/06/2022

Rates owing as at 08/04/2022: \$ 238.36

(b) Excess water charges

\$ 0.00

For water charge enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(c) Final water meter reading required?

No Reading Required

To arrange a final water meter reading, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 7

Christchurch City Council
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5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council. The information in this section may also cover building consent and/or code compliance information issued by building certifiers under the Building Act 1991 and building consent authorities that are not the Council under the Building Act 2004.

You can check the property file to identify whether any consent or certificate was issued by a building certifier under the Building Act 1991.

Section 44A(2)(da) LGOIMA. The information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004. There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribed the information that must be given to the clients of a building contractor.

For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

(a) Consents

BCN/1990/1329 Applied: 02/03/1990 Status: Completed

1/188 Olliviers Road Linwood

Permit issued 19/04/1990

DWELLING ADDITIONS & ALTERATIONS -FLAT ONE BATHROOM- Historical Reference PER90093768

BCN/1990/3834 Applied: 17/05/1990 Status: Completed

2/585 Cashel Street Linwood

Permit granted 27/06/1990

Permit issued 30/08/1990

TWO FLATS & GARAGES - FLATS TWO AND THREE- Historical Reference PER90102125

BCN/1990/9411 Applied: 29/11/1990 Status: Completed

2/585 Cashel Street Linwood

Permit granted 29/11/1990

Permit issued 29/11/1990

PLUMBING- DRAINAGE: NEW BUILDING CONNECTION- Historical Reference PER90156300

BCN/1995/2426 Applied: 03/04/1995 Status: Completed

1/188 Olliviers Road Linwood

Accepted for processing 03/04/1995

Building consent granted 05/04/1995

Building consent issued 05/04/1995

Code Compliance Certificate Granted 02/05/1995

Code Compliance Certificate Issued 02/05/1995

JETMASTER SPACE HEATER / DRY- Historical Reference CON95002648- FLAT 1

BCN/1997/1483 Applied: 06/03/1997 Status: Completed

1/188 Olliviers Road Linwood

Accepted for processing 06/03/1997

Building consent granted 20/03/1997

Building consent issued 03/04/1997

Code Compliance Certificate Granted 08/04/1998

Code Compliance Certificate Issued 08/04/1998

GARAGE & CONNECT DWELLING INTO STORM WATER -FLAT ONE- Historical Reference CON97001634

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 8

Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
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BCN/2013/9681 Applied: 21/10/2013 Status: Completed

1/188 Olliviers Road Linwood

Accepted for processing 25/10/2013

Building consent granted 31/10/2013

Building consent issued 01/11/2013

Code Compliance Certificate Issued 12/12/2014

DWELLING ALTERATION - KENT LOGFIRE SUPREME INSERT DRY WOODBURNER CAC# 111086 - FLAT 1

BCN/2019/2785 Applied: 06/05/2019 Status: Completed

2/585 Cashel Street Linwood

Accepted for processing 07/05/2019

Building consent granted 14/05/2019

Building consent issued 15/05/2019

Code Compliance Certificate Issued 26/06/2019

Alteration to Dwelling - Installation of a Woodsman Serene (ULEB) Dry Freestanding Woodburner - CAC194586

(b) Certificates

Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.

(c) Notices

(d) Orders

(e) Requisitions

Related information

Council holds no record of building permit/consent for dwelling at this address. No information is held by Council relating to the materials, construction or year the dwelling was built.

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 9

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6. Certificates issued by a building certifier

Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

For building enquiries, please phone (03) 941 8999, email EPADutyBCO@ccc.govt.nz or visit www.ccc.govt.nz.

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 10

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Christchurch 8154, New Zealand
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7. Weathertightness

Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

For weathertight homes enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

If there is no information below this means Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 11

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53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
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8. Land use and conditions

Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use. The planning information provided below is not exhaustive and reference to the Christchurch District Plan and any notified proposed changes to that plan is recommended: <https://ccc.govt.nz/the-council/plans-strategies-policies-and-bylaws/plans/christchurch-district-plan/>.

There maybe some provisions of the Christchurch City Plan or Banks Peninsula District Plan that affect this property that are still operative.

For planning queries, please phone (03) 941 8999, email DutyPlanner@ccc.govt.nz or visit www.ccc.govt.nz.

Regional plan or bylaw

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulate land use and activities on this site. Please direct enquiries to Canterbury Regional Council (Environment Canterbury).

(a)(i) Christchurch City Plan & Banks Peninsula District Plan

(ii) Christchurch District Plan

Liquefaction Management Area (LMA)

Property or part of property within the Liquefaction Management Area (LMA) Overlay which is operative.

RMD Lower Height Limit Overlay

Property or part of property within the Christchurch District Plan (operative) Residential Medium Density Lower Height Limit Overlay

Flood Management Area

Property or part of property within the Flood Management Area (FMA) Overlay which is operative.

District Plan Zone

Property or part of property within the Residential Medium Density Zone which is operative.

(b) Resource consents

If there are any land use resource consents issued for this property the Council recommends that you check those resource consents on the property file. There may be conditions attached to those resource consents for the property that are still required to be complied with.

RMA/1993/1868 - Subdivision Consent

1/188 Olliviers Road Linwood

Comp. Title SUBDIVISION - Historical Reference RMA3007

Status: Processing complete

Applied 23/08/1993

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 12

Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
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Land Information Memorandum

RMA/1998/3489 - Subdivision Consent
1/188 Olliviers Road Linwood
Cross Lease SUBDIVISION - Historical Reference RMA3032
Status: Processing complete
Applied 28/05/1998

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 13

Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984
www.ccc.govt.nz

9. Other land and building classifications

Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

For land and building enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Please refer to Section 1 for details

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 14

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10. Network utility information

Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

For network enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

None recorded for this property

11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

For any enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Kerbside waste collection

Your recycling is collected Fortnightly on the Week 2 collection cycle on a Monday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Metro Place EcoDrop.

Your refuse is collected Fortnightly on the Week 2 collection cycle on a Monday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Metro Place EcoDrop.

Your organics are collected Weekly on Monday. Please leave your organics at the Kerbside by 6:00 a.m.

(b) Other

Floor Levels Information

Christchurch City Council holds a variety of information relevant to building/property development across the city. This includes minimum finished floor levels that need to be set to meet the surface water requirements in clause E1.3.2 of the building code (where this applies), and the requirements of the Christchurch District Plan (where a property is in the Flood Management Area). Where this information has been processed for your site, it can be viewed at <https://ccc.govt.nz/floorlevelmap/>, otherwise site specific advice can be obtained by emailing floorlevels@ccc.govt.nz.

Community Board

Property located in Linwood-Central-Heathcote Community Board.

Guest Accommodation

Guest accommodation (including whole unit listings on Airbnb; BookaBach; etc.) generally requires a resource consent in this zone when the owner is not residing on the site. For more information, please refer to: <https://ccc.govt.nz/providing-guest-accommodation/>.

Tsunami Evacuation Zone

This property is not in a tsunami evacuation zone. It is not necessary to evacuate in a long or strong earthquake or during an official Civil Defence tsunami warning. Residents may wish to offer to open their home to family or friends who need to evacuate from a tsunami zone, and should plan with potential guests to do so in advance. More information can be found at <https://ccc.govt.nz/services/civil-defence/hazards/tsunami-evacuation-zones-and-routes/>

Electoral Ward

Property located in Linwood Electoral Ward

Listed Land Use Register

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 16

Christchurch City Council
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Christchurch 8154, New Zealand
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www.ccc.govt.nz

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR. Therefore, it is recommended that you check Environment Canterbury's online database at www.llur.ecan.govt.nz

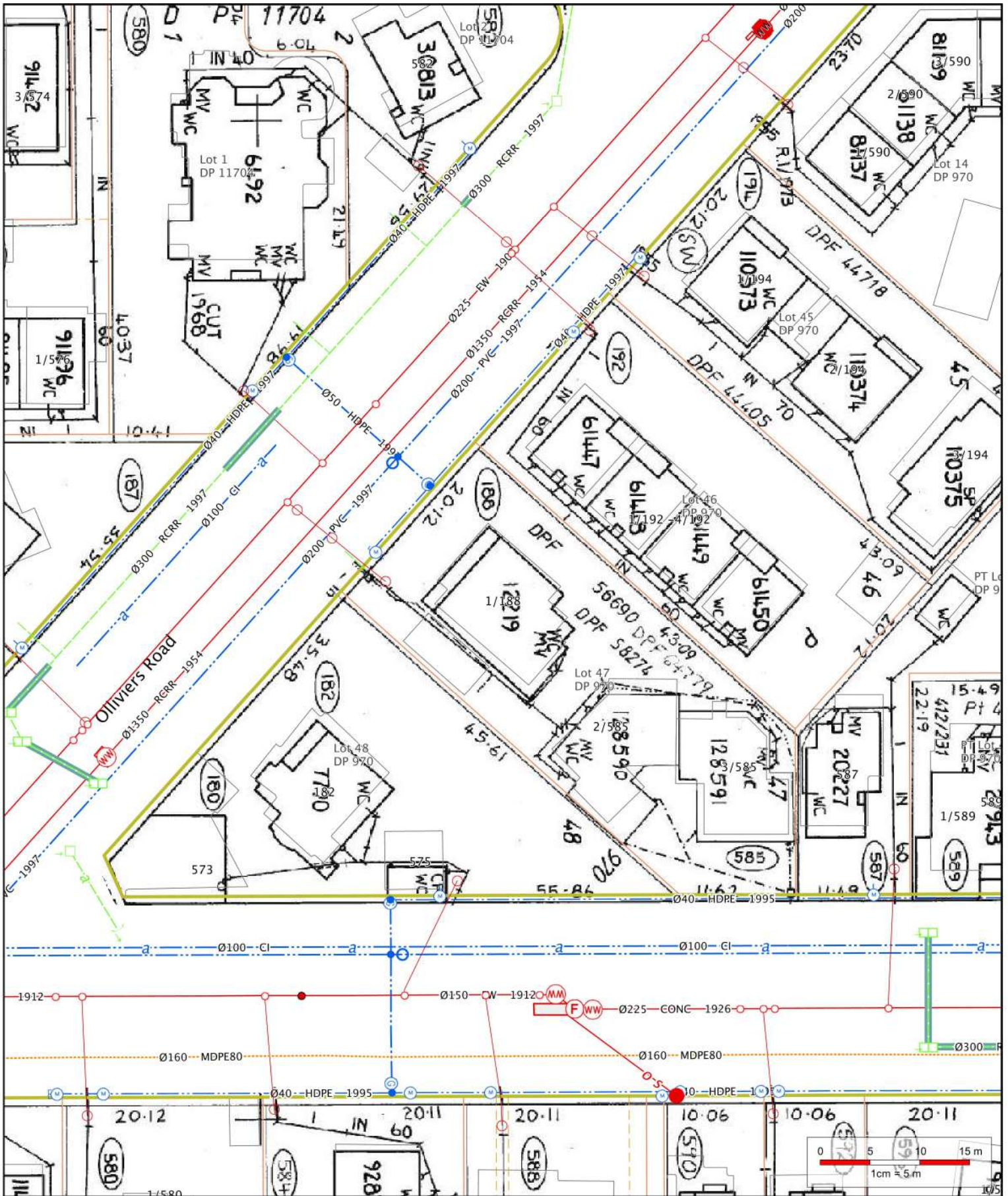
Spatial Query Report






















































A copy of the spatial query report is attached at the end of this LIM. The spatial query report lists land use resource consents that have been granted within 100 metres of this property.

Property address:
1/188 Olliviers Road

LIM number: H00899921
Page 17

Christchurch City Council
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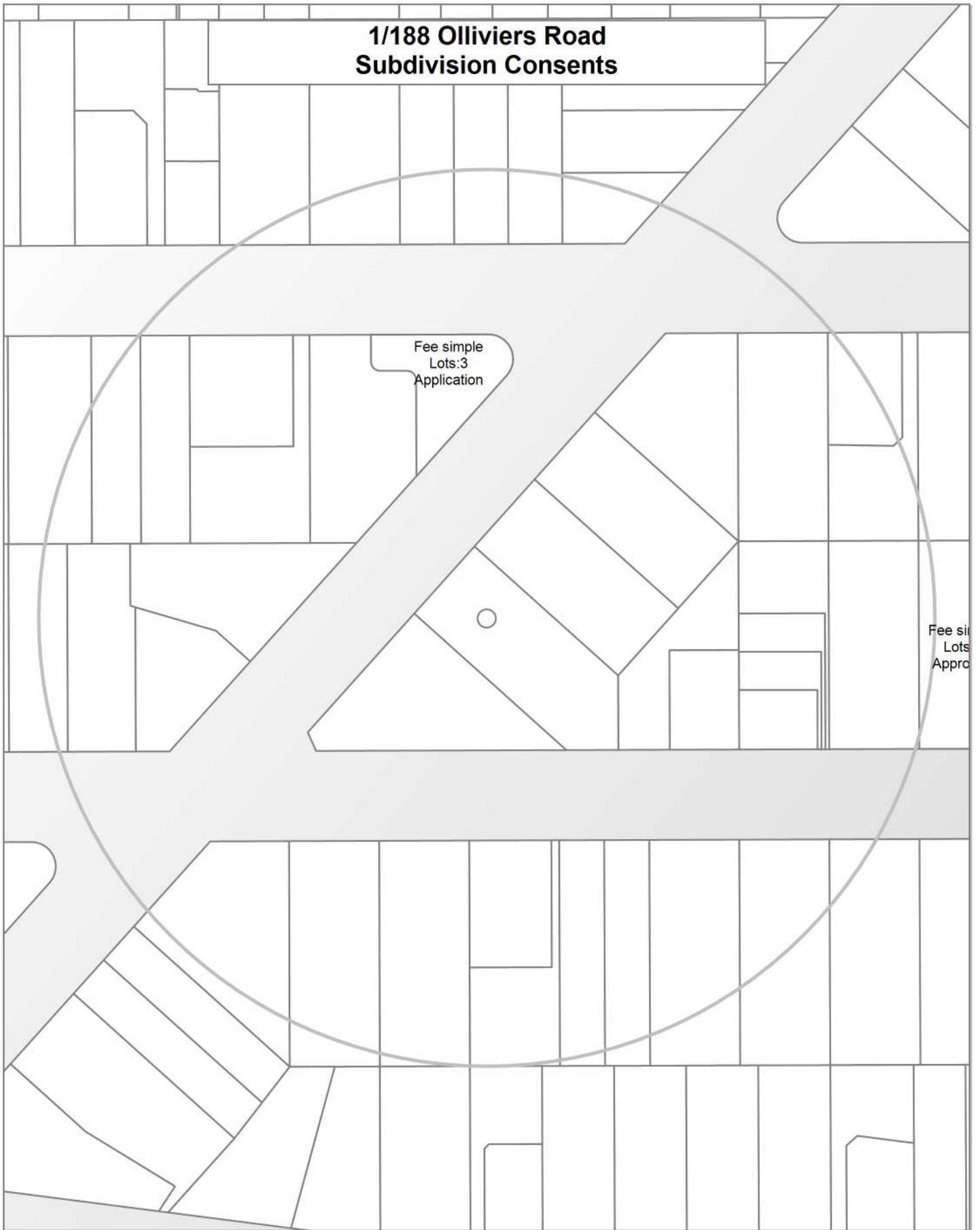


Private Drainage	Water Intake/Supply	Wastewater	Wastewater	Stormwater	Stormwater
Standard Infrastructure  Bio Gas  Condensate Trap  End Cap  Inlet  Outlet  Valve  Main  Cable	Water Intake/Supply  Connector  Bellows  Connector  Hydrant  Inlet  Meter  Outlet  Pump Restrictor Valve Air Release Butterfly Flow restriction Gate Pressure Activated Sluice Valve Reservoir Structure Lateral Main Sub Main	 End Cap  Valve  Air Gap Separator  Vent  Eye  Eye (Vertical)  Outfall  Pump Junction Access Flush Manhole Inspection Point Standard Manhole Trap Vented Manhole Lateral Main Pressure Main	 Lateral Fitting  Local Pressure  Control Panel  Boundary Kit  Tank System  Site  Vacuum Chamber  Vacuum Breaker Stormwater  Bend  Change  Eye  Flow Restriction  Inlet Dome Sump Double Sump Gross Debris Trap	 Inlet  Inlet Headwall  Pipe End  Silt Trap  Single Sump  Soak Pit  Triple Sump  Junction Standard Manhole Outlet Pump Structure Basin Lateral Main Lateral Fitting Double Sump	 Lateral Fitting  Single Sump  Soak Pit  Inspection point  Manhole All services  Pipe Protection  Abandoned  Proposed Out of service Landbase Easement

1/188 Olliviers Road Land Use Consents



1/188 Olliviers Road Subdivision Consents



Land Use Resource Consents within 100 metres of 1/188 Olliviers Road

Note: This list does not include subdivision Consents and Certificates of Compliance issued under the Resource Management Act.

1/576 Hereford Street

RMA/1997/2321

To erect a carport for Flat 1 which has internal dimensions of 5.5m x 2.75m. - Historical Reference RES972661

Processing complete

Applied 23/09/1997

Decision issued 14/10/1997

Granted 14/10/1997

1/590 Hereford Street

RMA/1969/9

To erect 5 two bedroom flats providing for 10 persons. (density control 9 persons) - Historical Reference RES9202441

Processing complete

Applied 21/04/1969

Decision issued 06/05/1969

Declined 06/05/1969

182 Olliviers Road

RMA/1986/379

To operate second hand shop from dwelling to be rezoned to sell clothing and furniture - Historical Reference RES9207285

Processing complete

Applied 20/06/1986

Decision issued 27/11/1986

Declined 27/11/1986

RMA/2006/2032

Additional dwelling plus home office - Historical Reference RMA92006109

Withdrawn

Applied 28/08/2006

RMA/2006/2923

Convert an existing building into a dairy and real estate business - Historical Reference RMA92007042

Processing complete

Applied 08/12/2006

Decision issued 24/01/2007

Granted 23/01/2007

RMA/2011/389

CHANGE OF USE TO HAIRDRESSING BUSINESS - Historical Reference RMA92017914

Processing complete

Applied 18/04/2011

Decision issued 25/10/2011

Granted 25/10/2011

207 Olliviers Road

RMA/1983/303

Erect garage min. internal dimensions 3.3m X 5.5m and garage with reduced setback - Historical Reference RES9207290

Processing complete

Applied 05/10/1983

Decision issued 17/10/1983

Declined 17/10/1983

25 Wellington Street

RMA/2018/2882

Wastewater Capacity Certificate

Processing complete

Applied 26/11/2018

Certificate issued 30/11/2018

RMA/2019/1987

Minimum Floor Level Certificate

Processing complete

Applied 30/08/2019

Certificate issued 02/09/2019

RMA/2019/2134

Proposed New Dwelling

Withdrawn

Applied 17/09/2019

RMA/2019/545

Two lot fee simple subdivision

Processing complete

Applied 14/03/2019

s223 Certificate issued 04/02/2020

s224 Certificate issued 04/02/2020

Decision issued 01/07/2019

Granted 28/06/2019

566 Hereford Street

RMA/2022/881

To construct nine residential units

Awaiting payment

Applied 23/03/2022

569A Cashel Street

RMA/2006/2003

Erect 4 residential units with attached garages with various non compliances - Historical Reference RMA92006079

Processing complete

Applied 24/08/2006

Decision issued 24/10/2006

Granted 24/10/2006

RMA/2015/2522

Unit Title Subdivision - 4 units 223 & 224 signed 16/12/2015 - Historical Reference RMA92030857

Processing complete

Applied 10/09/2015

Decision issued 07/10/2015

Granted 06/10/2015

569B Cashel Street

RMA/2006/2003

Erect 4 residential units with attached garages with various non compliances - Historical Reference RMA92006079

Processing complete

Applied 24/08/2006

Decision issued 24/10/2006

Granted 24/10/2006

RMA/2015/2522

Unit Title Subdivision - 4 units 223 & 224 signed 16/12/2015 - Historical Reference RMA92030857

Processing complete

Applied 10/09/2015

Decision issued 07/10/2015

Granted 06/10/2015

569C Cashel Street

RMA/2006/2003

Erect 4 residential units with attached garages with various non compliances - Historical Reference RMA92006079

Processing complete

Applied 24/08/2006

Decision issued 24/10/2006

Granted 24/10/2006

RMA/2015/2522

Unit Title Subdivision - 4 units 223 & 224 signed 16/12/2015 - Historical Reference RMA92030857

Processing complete

Applied 10/09/2015

Decision issued 07/10/2015

Granted 06/10/2015

569D Cashel Street

RMA/2006/2003

Erect 4 residential units with attached garages with various non compliances - Historical Reference RMA92006079

Processing complete

Applied 24/08/2006

Decision issued 24/10/2006

Granted 24/10/2006

RMA/2015/2522

Unit Title Subdivision - 4 units 223 & 224 signed 16/12/2015 - Historical Reference RMA92030857

Processing complete

Applied 10/09/2015

Decision issued 07/10/2015

Granted 06/10/2015

579 Hereford Street

RMA/1998/2591

To erect a garage 2m from the road boundary. - Historical Reference RES982963

Processing complete

Applied 03/11/1998

Decision issued 16/11/1998

Granted 16/11/1998

581 Hereford Street

RMA/1983/103

To install a second vehicle crossing. - Historical Reference RES9202437

Processing complete

Applied 20/09/1983

Decision issued 17/10/1983

Granted 17/10/1983

582 Hereford Street

RMA/2006/105

Application to erect a new garage - Historical Reference RMA20021990

Processing complete

Applied 25/01/2006

Decision issued 09/05/2006

Granted 09/05/2006

RMA/2021/1867

Multi unit residential complex (3 units)

Processing complete

Applied 21/06/2021

Decision issued 17/08/2021

Granted 17/08/2021

583 Hereford Street

RMA/2002/525

Sleepout which intrudes the recession plane on the eastern boundary. - Historical Reference RMA20009502

Processing complete

Applied 05/03/2002

Decision issued 11/03/2002

Granted 06/03/2002

594 Hereford Street

RMA/2019/1149

Two new Emergency Generators on the Linwood Exchange Site

Withdrawn

Applied 22/05/2019

RMA/2019/1568

Two new Emergency Generators on the Linwood Exchange Site

Processing complete

Applied 12/07/2019

Decision issued 02/08/2019

NOR accepted 01/08/2019

RMA/2020/2445

Replace fence

Withdrawn

Applied 23/10/2020

598 Hereford Street

RMA/1977/40

Approval for siting of extensions 4-6m from front boundary, 7.5m from rear boundary and 7.0m from Eastern side. -
Historical Reference RES9202442

Processing complete

Applied 07/11/1977

Decision issued 09/12/1977

Granted 09/12/1977

601 Cashel Street

RMA/2020/2650

Construct five townhouses with attached garages

Processing complete

Applied 17/11/2020

Decision issued 17/12/2020

Granted 17/12/2020

RMA/2021/2721

Subdivision - Fee simple - Five lots with land use

Consent issued

Applied 19/08/2021

Amended decision issued - s133A 16/09/2021

Decision issued 14/09/2021

Granted 14/09/2021

Data Quality Statement

Land Use Consents

All resource consents are shown for sites that have been labelled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and are current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt. Please phone (03)941 8999.

The term "resource consents" in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

Subdivision Consents

All subdivision consents are shown for the sites that have been labelled with consent details. For Sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

The term “subdivision consents” in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed i.e once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown

All subdivision consent information is contained on the map and no separate list is supplied



COUNCIL PROPERTY FILE

188 OLLIVIERS ROAD, LINWOOD

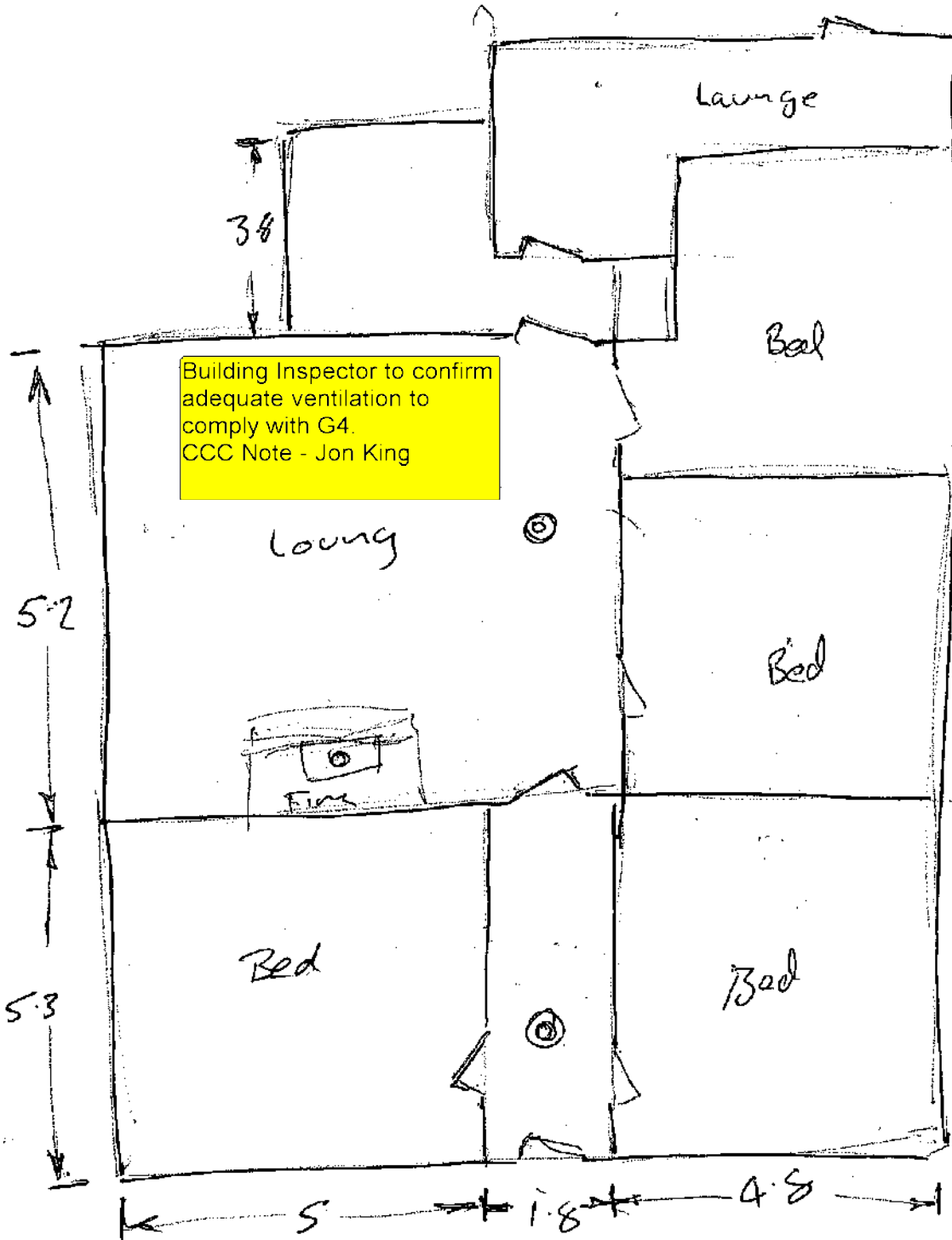
PREPARED BY MORGAN PERRY

OFFICE ROAD
REAL ESTATE

AGENT X (2021) LTD - LICENSED AGENT REAA (2008)



MORGAN
PERRY
RESIDENTIAL



**Domestic Smoke Alarms
complying with Approved Document F7
are required as part of this consent.**

Masonry chimney on-site assessment

Assessment template for suitability to install an insert burning appliance in an existing masonry chimney in Canterbury

Project Details	
Address:	1/188 Oliviers Rd
Date of assessment:	8 Oct 13

Assessment undertaken by	
Company Name:	Gas Unlimited
Assessors Name:	Brian Smith
Contact details: (Address and Phone number)	352 38 38
Detail qualifications and experience NZ AHA	

Assessment Details	
Cleaning	<p>The fireplace and interior of the chimney has been cleaned prior to the assessment inspection</p> <p><input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p> <p>Note: The chimney should be cleaned to ensure any cracking is exposed</p>
Approximate age of the chimney	40
Chimney height & location	<p><input checked="" type="checkbox"/> One storey <input type="checkbox"/> Two storey</p> <p><input checked="" type="checkbox"/> Located on the interior of the building <input type="checkbox"/> Located on an exterior wall</p> <p>Damaged interior chimneys pose a high fire risk due to proximity to timber framing and lack of air movement for cooling. Where there is any doubt over the chimneys state linings should be removed to determine condition. Provide details of linings removed</p>
No of fireplaces forming the structure	<p><input checked="" type="checkbox"/> One <input type="checkbox"/> Two <input type="checkbox"/> More (List)</p>
Chimney material	<p><input checked="" type="checkbox"/> Clay brick <input type="checkbox"/> Concrete brick <input type="checkbox"/> Pumice concrete stack <input type="checkbox"/> Concrete block <input type="checkbox"/> Other (Describe)</p> <p><input type="checkbox"/> Reinforced <input checked="" type="checkbox"/> Unreinforced</p>

<p>Mortar & bonding</p> <p>Condition of mortar</p> <p>Bonding of masonry</p>	<p><input checked="" type="checkbox"/> Lime mortar <input type="checkbox"/> Cement mortar</p> <p>Describe the condition of the existing mortar: <i>Sound At Time of Inspection</i></p> <p>Describe the soundness of existing masonry bonding:</p>
<p>Description of damage</p>	<p>Describe any damage to the existing chimney structure including the zone of the damage (upper, mid, lower, full height), foundation damage and settlement, width and length of cracks, cracks along mortar lines, cracks through masonry units:</p> <p><i>Chimney To be Lowered To Certain Height By Other</i></p>
<p>Repairs required to remediate damage or recommendation to demolish</p>	<p>Clearly describe any repairs or partial or complete demolition that is required:</p> <p><i>As Above</i></p> <p>Note: Where repairs are proposed please provide photos of the damage and with the consent application include construction detailing clearly describing the work. Where necessary provide construction drawings for complex or substantial repairs. Complex and substantial repairs are usually specific design and require the involvement of a Structural Engineer.</p>
<p>Openings & gaps</p>	<p>Details of any openings that require sealing such as wetback penetrations or gaps between fireplace surrounds and the chimney structure</p> <p><i>NA</i></p>

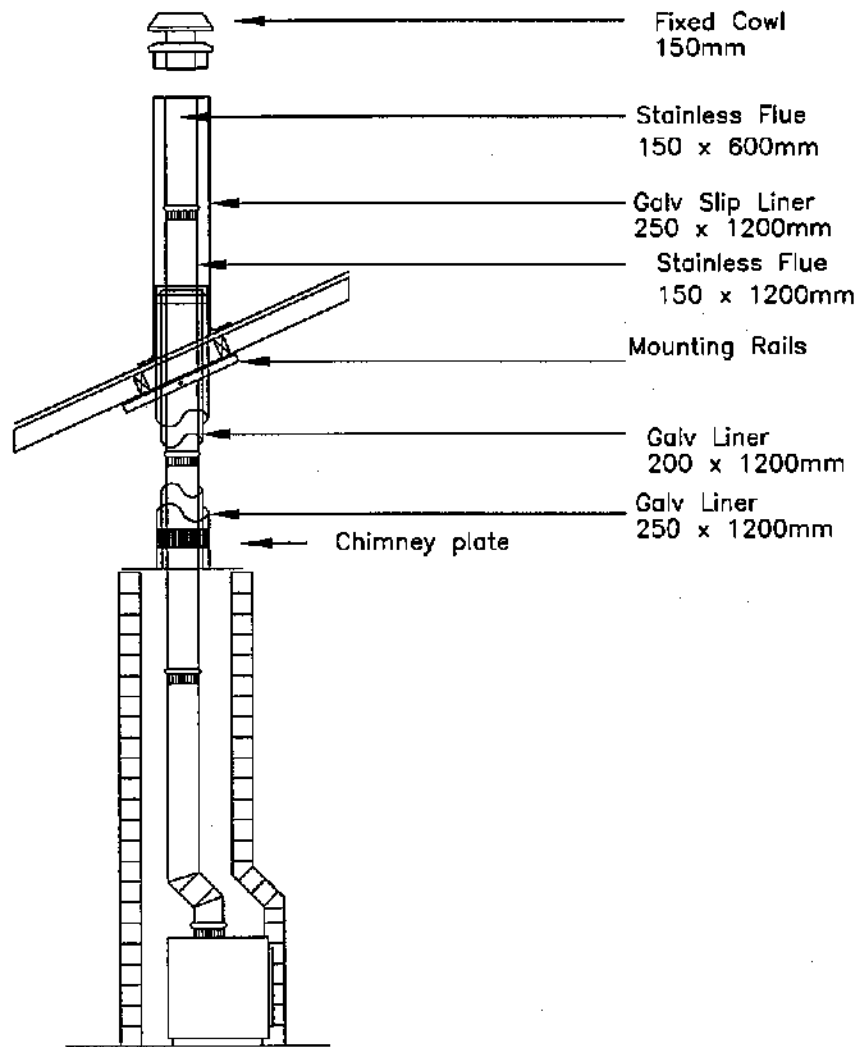
Chimney Replacement Parts

Manufactured by Davin Industries Limited.

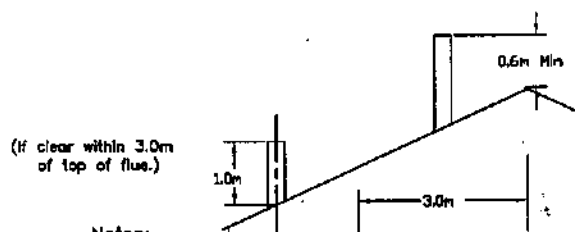
This flue kit must be installed by a suitably qualified tradesperson or solid fuel heater installer and complies with AS/NZS 2918:2001. This kit may require additional components to complete the installation.

Roof & Ceiling Installation

Assembly List



Minimum Height of Flue System Exit (excluding cowl)



Notes:

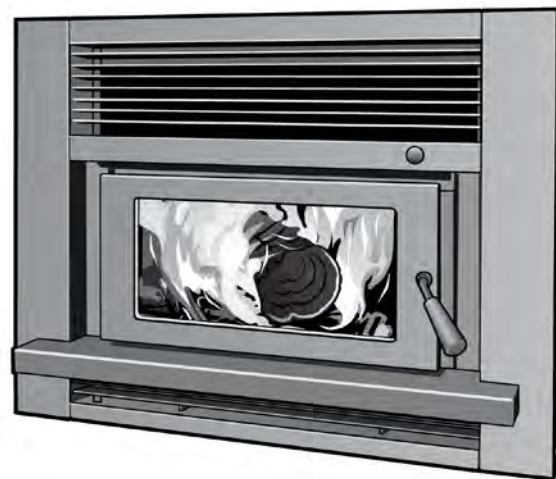
- ① Refer to your heater manufacturers recommendations for flue heights.
- ② Depending on local circumstances, taller chimneys may be required for satisfactory performance. Check with your local building authority.

← Stainless Flue
Satin Black
150 x 1200mm

KENT®

wood fires & heating

STANDARD & ZERO CLEARANCE CABINET INSTALLATION



All parts are sold separately

Logfire Supreme

Model No. KWF295-6933

GENERAL INFORMATION

1. This fire must be installed by an approved installer, ideally registered with the New Zealand Home Heating Association. Do not allow any makeshift compromise installation methods. This could result in a house fire. The **Logfire Supreme** must be installed according to these instructions.
2. The **Logfire Supreme** Fireplace Insert Heater, when installed according to these instructions, complies with the provisions of AS/NZS 2918:2001 Appendix E - "Thermal Testing of Fireplace Insert Installations".
3. The **Logfire Supreme** meets the emission requirements of the joint Australia/New Zealand Clean Air Standards 4012, 4013-1999, and the NZ National Emissions Standard.
4. The **Logfire Supreme** is intended for installation into masonry fireplaces and chimneys which have been constructed in accordance with the requirements of the NZ Standard for Chimneys, NZS 1900 Ch7, or other nationally recognized code requirements. All installations must be made in accordance with AS/NZS 2918:2001. **A zero clearance kit is available for installation into a timber frame (part no. KWF298-7036)**
5. Following these instructions allows the Logfire Supreme to be installed safely into a timber framed enclosure with the use of the Zero Clearance cabinet without the need for further heat protection beyond that supplied as part of the cabinet and flue system.
6. Do not allow any makeshift compromise installation methods. This could result in a house fire. The **Logfire Supreme** must be installed according to these instructions. We suggest that a New Zealand Home Heating Association – registered installer be used for installing the appliance.
7. The clearances given in these instructions are necessary to prevent overheating of nearby combustibles and drying out of the house structure. They may not be reduced without authorisation.

PRIOR TO INSTALLATION

MASONRY FIREPLACE INSTALLATION

1. Examine the masonry fireplace and chimney carefully to ensure that they are free from cracks, loose mortar, creosote deposits, blockages or other signs of deterioration. Check the area of the face brick/fire chamber joint particularly carefully for cracks or openings. These must be permanently sealed. If evidence of deterioration is found, the fire must not be installed until permanent repairs have been made to the fireplace.
2. Measure the opening of the fireplace to confirm the fire will fit. When fitted, the fascia surround should overlap the fireplace opening by a minimum of 25mm on sides and top. If the fascia surround is too small for the opening, a backing plate must be fitted. The underside of the mantel, if fitted, must be no closer to the top of the floor protector than 1150mm.
3. Check that there is a suitable floor protector. The floor protector must be insulated and non-combustible and must **extend 300mm in front of the door glass** and be **at least 45mm above the floor** of the room. Masonry is suitable for the floor protector. If flush with the room floor, the floor protector must extend at least 395mm. It must extend at least 200mm either side of the door opening. (Refer Fig 4).
4. Flue pipe installation is determined by the existing fireplace structure and condition. The flue pipe shall extend not less than 4.6m above the top of the floor protector. The flue cowl must be at least 600mm above the highest point of the roof if within 3 metres of it, or 1000mm above the roof penetration if more than 3 metres from the ridge (Refer Fig 7). No part of the building, or any adjacent building, may be in or above a circular area of a horizontal radius of 3 metres from the flue exit. **These heights are given as a general minimum**, and in actual practice the presence of surrounding structures, trees, fences, etc. **may necessitate additional height for satisfactory performance**. The cowl must be fitted to prevent entry of birds, snow and rain. At flue joints, the swaged end of the upper piece must be fitted to the plain end of the lower piece. The *Kent* flue kit provides for a maximum height of 4.6 metres above the fire. Should extra lengths of flue be required, they can be purchased through your *Kent* dealer.
5. The **Logfire Supreme** requires up to 40 cu.m/h of fresh air for burning, and this must come from outside the house. A normal house will allow enough air in through incidental openings to satisfy this. We recommend that a source of air be located near the heater for best performance. This can be a window that is left ajar while the heater is in use. If this is not possible, and the house is particularly air-tight, a vent may need to be installed next to the heater to provide the air required. Lack of air will lead to a heater that is hard to light and get going, or in bad cases, to smoke spilling back into the room. This situation can also lead to excessive carbon monoxide levels through incomplete combustion.

TIMBER FRAMED CAVITY INSTALLATION

1. Measure the opening of the fireplace to confirm the fire will fit. When fitted, the fascia surround should overlap the fireplace opening by a minimum of 25mm on sides and top. If the fascia surround is too small for the opening, a backing plate must be fitted. The underside of the mantel, if fitted, must be no closer to the top of the floor protector than 1150mm.
2. Check that there is a suitable floor protector. The floor protector must be insulated and non-combustible and must **extend 300mm in front of the door glass** and be **at least 45mm above the floor** of the room. Masonry is suitable for the floor protector. If flush with the room floor, the floor protector must extend at least 395mm. It must extend at least 200mm either side of the door opening. (Refer Fig 4).
3. The flue pipe shall extend not less than 4.6m above the top of the floor protector. The flue cowl must be at least 600mm above the highest point of the roof if within 3 metres of it, or 1000mm above the roof penetration if more than 3 metres from the ridge (Refer Fig 7). No part of the building, or any adjacent building, may be in or above a circular area of a horizontal radius of 3 metres from the flue exit. **These heights are given as a general minimum**, and in actual practice the presence of surrounding structures, trees, fences, etc. **may necessitate additional height for satisfactory performance**. The cowl must be fitted to prevent entry of birds, snow and rain. At flue joints, the swaged end of the upper piece must be fitted to the plain end of the lower piece. The *Kent* flue kit provides for a maximum height of 4.6 metres above the fire. Should extra lengths of flue be required, they can be purchased through your *Kent* dealer.
4. The **Logfire Supreme** requires up to 40 cu.m/h of fresh air for burning, and this must come from outside the house. A normal house will allow enough air in through incidental openings to satisfy this. We recommend that a source of air be located near the heater for best performance. This can be a window that is left ajar while the heater is in use. If this is not possible, and the house is particularly air-tight, a vent may need to be installed next to the heater to provide the air required. Lack of air will lead to a heater that is hard to light and get going, or in bad cases, to smoke spilling back into the room. This situation can also lead to excessive carbon monoxide levels through incomplete combustion.

INSTALLATION PROCEDURE

MASONRY FIREPLACE

Once you have determined that the **Logfire Supreme** will fit and that all necessary repairs have been made to the fireplace and chimney, installation may proceed as follows:

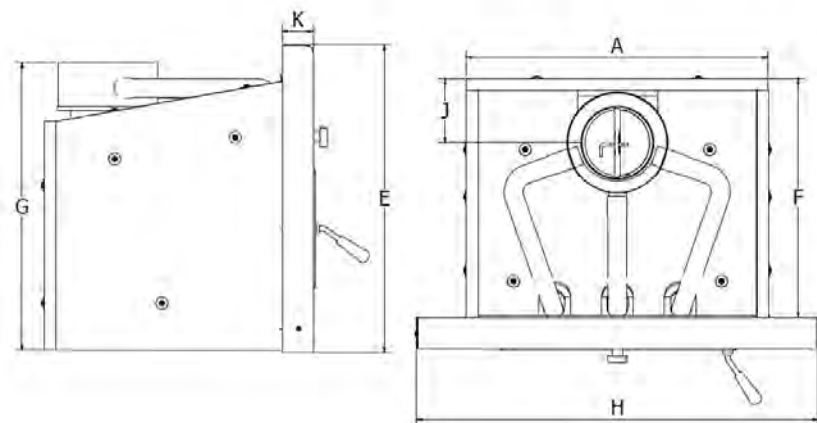
1. Clean any loose rubble from the hearth to make it substantially level. Ideally, the insert should sit 5-6mm above the level of the floor protector in front of the fireplace, to allow the fascia to be properly centred on the insert.
2. Unpack the **Logfire Supreme** from its crate and remove the additional components packed inside.
3. Open the fascia kit. In this pack you will find the fascia components and hardware.
4. Slide the insert into the fireplace opening. The flange on the outer casing should be positioned flush with the front face of the opening. If the fireplace is too shallow, a spacer will need to be obtained.
5. Fit the flue system to the **Logfire Supreme** as detailed in the separate Manufacturers Instruction sheet that accompanies the flue kit. *This heater is tested and approved for use with a **Kent Logfire Supreme Flue Kit only (KWF298-7012)**. Use of other brands of flue systems may void installation approvals. The flue must not be connected to any other flue or chimney servicing another appliance. Modification of the appliance or flue kit in any way without the written approval of the manufacturer is expressly prohibited.*

TIMBER FRAMED CAVITY

Once you have determined that the **Logfire Supreme and Zero Clearance Kit (KWF298-7350)** will fit, installation may proceed as follows:

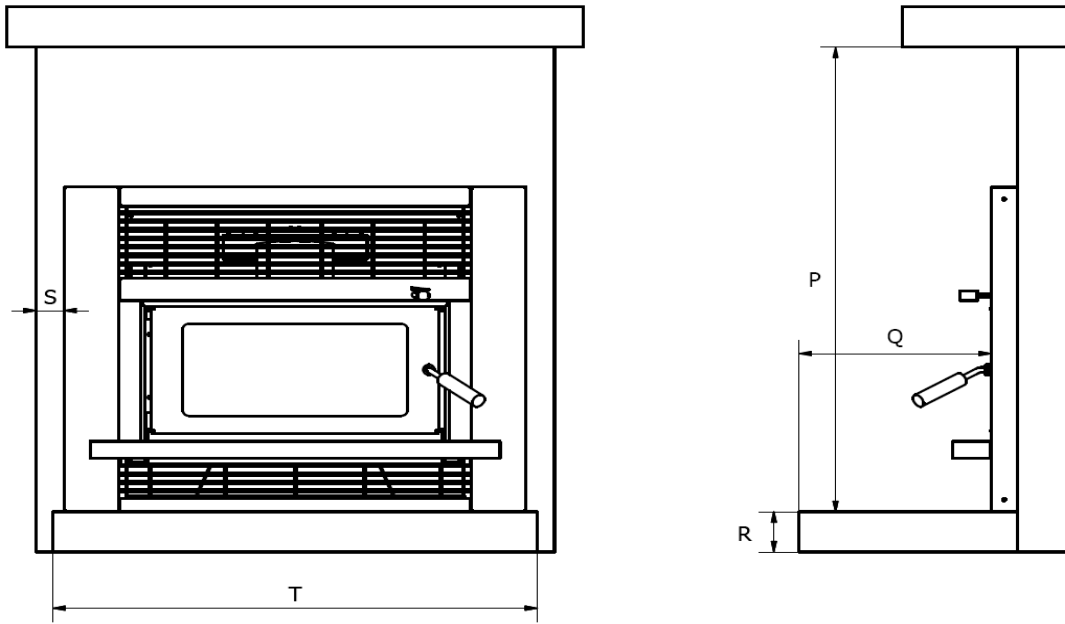
1. The Kent Supreme Zero clearance cabinet is approved to sit directly into a timber frame.
2. Combustible materials can be in contact with the 25mm standoffs fitted to the outside of the cabinet, but we recommend an additional clearance of 25mm beyond the standoffs for ease of moving into position without becoming jammed in the wall cavity provided for the appliance. See fig. 3 and 4.
3. Timber framing can be in contact with the 250mm diameter outer casing where the 200mm diameter inner casing is at the height.
4. Timber framing must be 25mm clear of the outer casing if the 200mm diameter inner casing is not present at that height.
5. The floor protector extension in front of the door shall be a minimum of 8mm ceramic tiles + 24mm of Eterpan if the floor is a heat sensitive material.
6. Ideally, the insert should sit 5-6mm above the level of the floor protector in front of the fireplace, to allow the fascia to be properly centred on the insert.
7. Unpack the **Logfire Supreme** from its crate and remove the additional components packed inside.
8. Open the fascia kit. In this pack you will find the fascia components and hardware.
9. Slide the insert into the zero clearance box. The flange on the outer casing should be positioned flush with the front face of the opening.
10. Fit the flue system to the **Logfire Supreme** as detailed in the separate Manufacturers Instruction sheet that accompanies the flue kit. *This heater is tested and approved for use with a **Kent Logfire Supreme Zero Clearance Kit only (KWF298-7350)**. Use of other brands of flue systems may void installation approvals. The flue must not be connected to any other flue or chimney servicing another appliance. Modification of the appliance or flue kit in any way without the written approval of the manufacturer is expressly prohibited.*

Logfire Supreme Dimensions (mm)



A	Overall fire width	642
E	Insert fascia height	650
F	Insert depth	506
G	Insert maximum height	570
H	Insert fascia width	840
J	Flue centre to back of unit	136
K	Fascia depth	62

Logfire Supreme Clearances (mm)

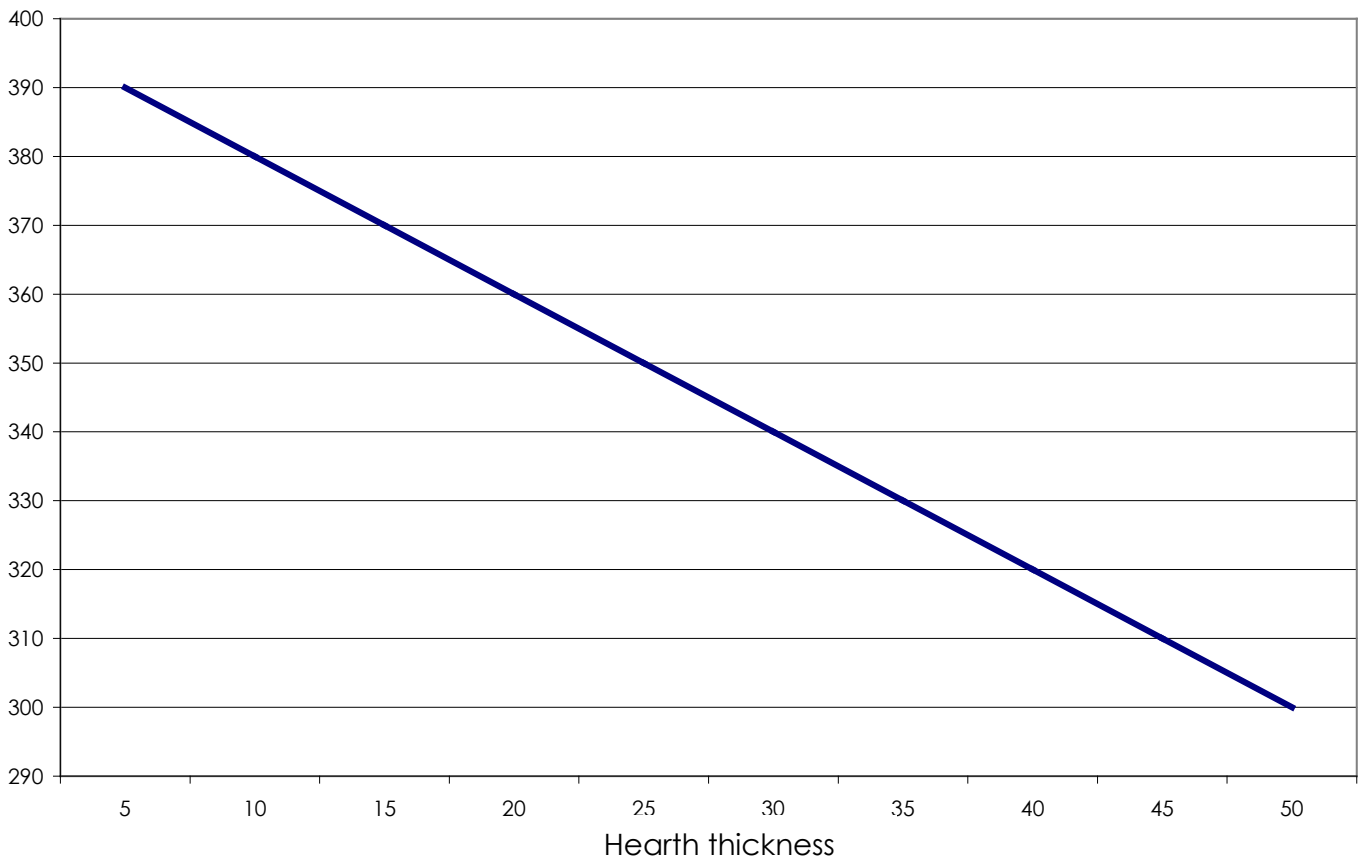


P	1060
Q	300*
R	45*
S	50
T	840

* see graph below for alternative dimensions

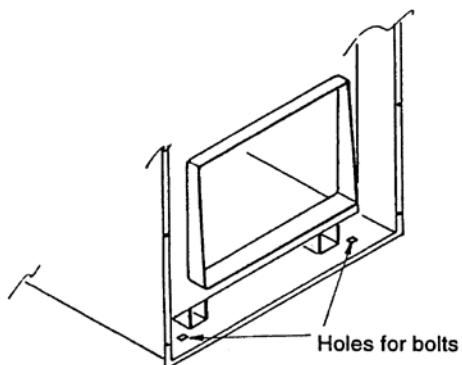
The hearth distance out in front of the fire (taken from the door), is dependent on the thickness of the hearth. The thicker the hearth is above the surrounding combustible floor, the less the distance is out in front of the fire.

Supreme hearth size



SEISMIC RESTRAINT

The heater must be restrained against movement due to earthquakes. Once the fire is in place and the fascia has been aligned, it is necessary to secure the fire box to the hearth. Remove the fascia panel to give access to the base pan of the outer casing. Mark and drill for 2 8mm DYNABOLTS® or similar, penetrating at least 50mm into the concrete of the fireplace (Refer Fig 6). Once the fire is secure refit the fascia.



FLUE SYSTEMS

The flue cowl must be at least 600mm above the highest point of the roof if within 3 metres of it, or 1000mm above the roof penetration if more than 3 meters from the ridge (Refer Fig 7). No part of the building, or any adjacent building, may be in or above a circular area of a horizontal radius of 3 metres from the flue exit. **These heights are given as a general minimum**, and in actual practice the presence of surrounding structures, trees, fences, etc. **may necessitate additional height for satisfactory performance**. The cowl must be fitted to prevent entry of birds, snow and rain. At all flue joints, the swaged end of the upper piece must be fitted to the plain end of the lower piece.

FOR MORE INFORMATION, REFER TO THE INSTALLATION INSTRUCTIONS INCLUDED WITH THE FLUE KIT.

SPARE PARTS

Replacement parts may be purchased from your Kent dealer. To ensure the correct parts are ordered, advise the dealer of the date of purchase and serial number of the **Logfire Supreme** you own. The serial number is located on the identification plate on the inside near the front of the outer casing side. For enamelled panels, please also advise the colour of the panels required.

USEFUL TIPS

Tips for lighting the fire

- Use finely cut, dry kindling wood.
- Firelighter cubes or gel work best when ensuring ignition of the kindling.
- Cross stack kindling over and around fire lighter like a small tower.
- Use ample kindling wood to ensure a good fire. You want to get the fire hot as fast as you can.

Tips to help get the highest heat output:

- Open the air slide to increase the amount of combustion air to the combustion zone.
- Use smaller pieces of wood and lots of it. Small pieces of wood have a larger surface area compared the same volume of wood but in larger pieces.
- Feed the fire regularly. Keep the fire topped up with fresh wood to keep the temperature up in the combustion zone.
- Use dry wood. Wood with a moisture content of less than 16% will burn much hotter than damp wood. Use a moisture meter to determine the moisture content of the wood.
- Use a soft wood. Soft woods like Radiata Pine burn fast and hot.

Tips for increasing the burn time:

- Shut down the air slide to decrease the amount of combustion air to the combustion zone.
- Use large pieces of wood. Large pieces have a smaller surface area compared to small pieces of the same volume and will burn slower.
- Use a hard wood like Blue Gum (where permitted). Hard woods are denser and take longer to burn.
- Completely fill the fire box with large pieces of wood. The more wood in the fire, the longer it takes to burn.
- Load the wood at the right time. If you load the fire when there is a large amount of red embers all the wood will combust at the same time. A good idea is to let the fire burn down quite considerably and push the embers off to one side. Stack the wood in the firebox and the wood will ignite on one side only and slowly burn from one side to the other.

TROUBLE SHOOTING

My fire won't turn down

The first thing to be aware of is that some new clean air fires do not shut down like old fires. Old fires used to shut all the way off and the wood would just smolder.

Other reasons for this problem may be:

- Rear air tube has burned out and needs replacing, visually check.
- Door seal is not sealing properly and may need replacing. Take a thin strip of news paper, close the door on it at various spots, if the paper can be easily pulled out, then either a new door rope is needed or door latch needs adjusting by redistributing the washers on the door latch.
-

There is rust on my fire

Rust appearing on your fire can only occur when moisture or water is present and has begun to oxidize the steel.

- Identify where the water or moisture has come from and fix the problem.
- Lightly sand the effected area and use matching Woodsman aerosol high temperature paint to touch up.

My glass is dirty

Your glass can get dirty easily if you use poor quality or wet wood or spend a lot of time with the fire on the low setting.

- Give the fire a good hot run on the high setting to burn off the residue on the door
- If that fails, there are special cleaners especially for this purpose or oven cleaner works well. Do not get chemicals on the paint work.

My fire smokes when I open the door

There are many reasons which may cause this symptom and it is often a process of elimination to remedy the problem.

- Your flue length may be too short. Even though it may be of legal length, every installation is different and you may require an additional length of flue.
- Your flue may be blocked, have the flue looked at.
- The baffle may not be in place correctly, visually check to see if it has moved.
- You may need a cowl like the Woodsman Columbia cowl to help encourage draw, especially where there are environmental problems like high winds.
- Your flue may be getting too cold. If the flue gases get too cold, they can struggle to be exhausted and when the door is opened, they find it easier to exit via the door than the flue. If you suspect your flue is getting cool, turn the fire up onto high for a few minutes before reloading, this will increase the temperature of the flue and increase the flue draught.
- Check that the installer has sealed **ALL** the flue joints and there are no gaps which will leak air into the flue, reducing the draw.

The paint has been damaged

Paint finishes are not as durable as enameled finishes, but they are extremely quick and easy to touch up and the fire can look new in minutes.

- If damage has occurred to the paint, lightly sand the effected area and touch up using Woodsman High Temperature Paint.

My fire seems to be performing poorly, not burning well on high

If your fire doesn't seem to burn well at the high level, check the following:

- Negative pressure, make sure there are no extraction devices like fans creating a negative pressure in the home.
- The flue length is long enough.
- The wood is dry.
- The flue is clean.

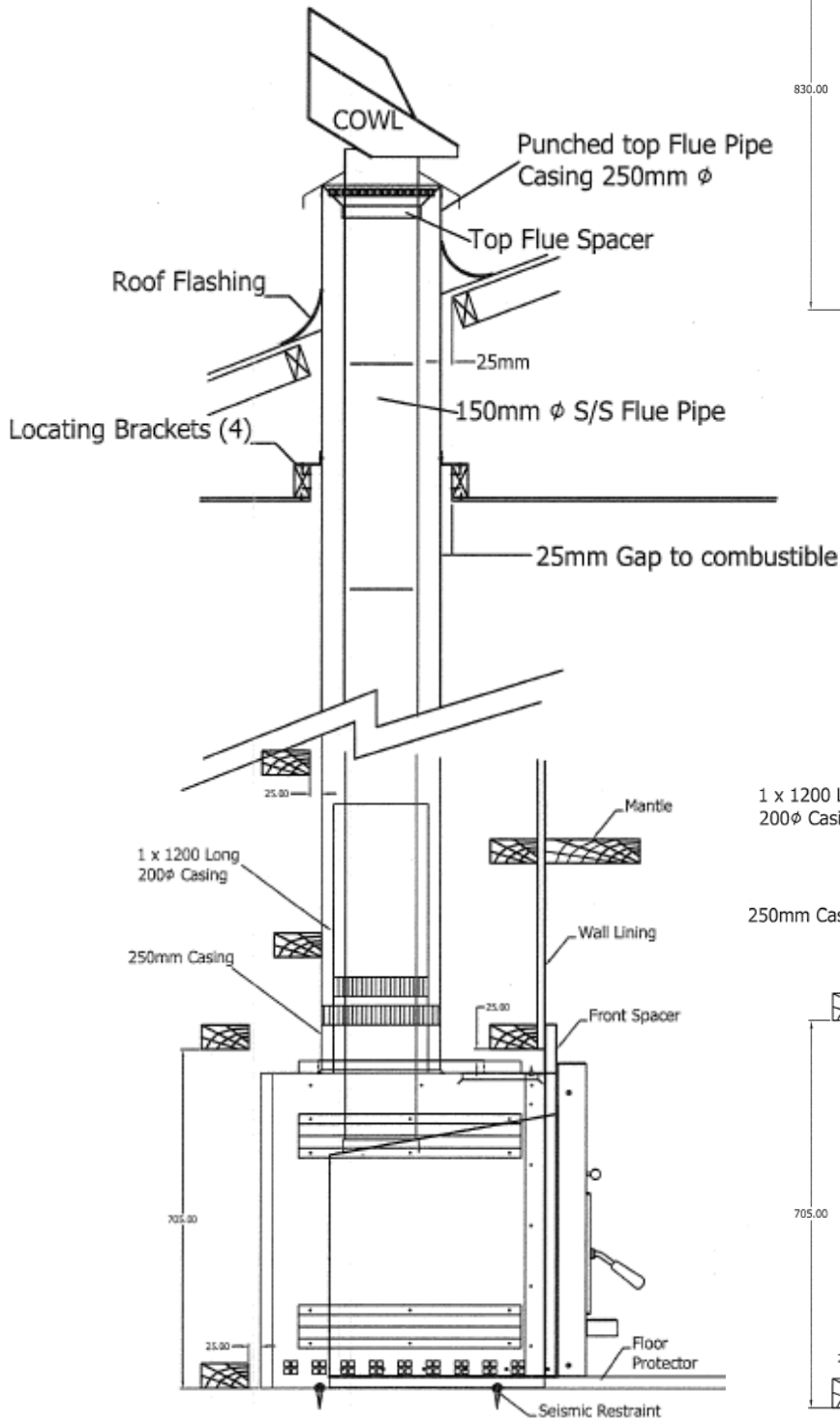


Fig.3

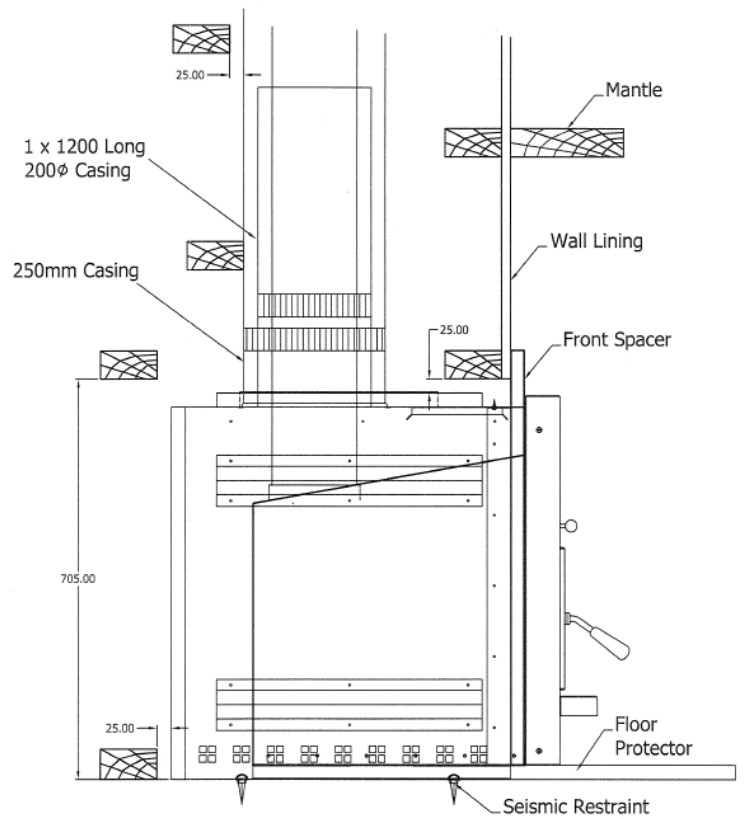
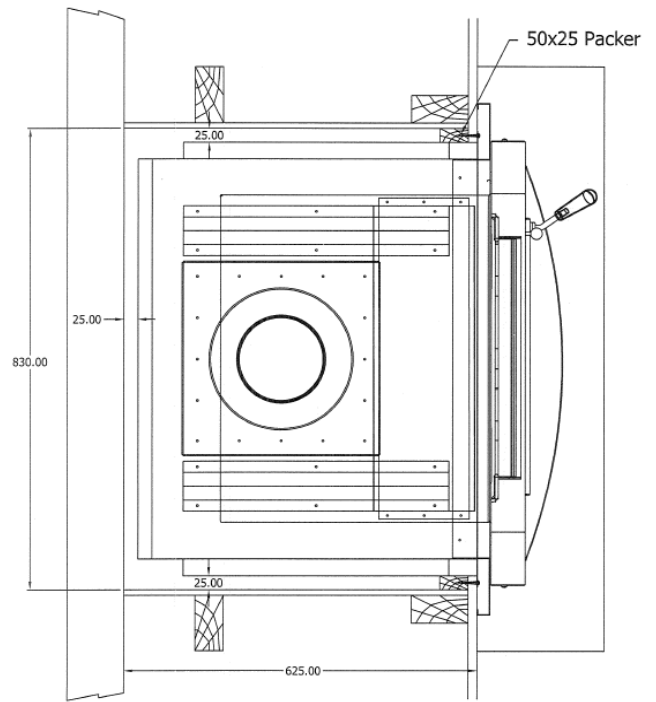


Fig.4

Before the heater is used, ensure that a Compliance Certificate (supplied by a Registered Installer or Territorial Authority Inspector) is obtained for the user. We encourage initial demonstrations on how to light and operate the fire to ensure the user can confidently operate the fire for safe and efficient performance.



Dektite® Soaker™

*The perfect flashing for
all tray roofs*

The large base of the Dektite® Soaker™ dramatically reduces rainwater back up on very low or very high roof pitches and deep ribbed roofing profiles.



Dektite® Soakers™ are ready to flash straight from the pack. They're faster to flash than old-fashioned methods. Dektite's® unique corrosion resistant aluminium flange is ideal for low pitch and deep profile

roofs, providing a positive leak-proof seal, without risk of damming.

Easy Selection Guide

CODE	BASE mm	PIPE mm	PITCH	PIPE mm	PITCH
DF 602	410x360	75-160	0 - 60°		
DF 603	485x460	114-165	0 - 60°	165 - 255	0-40°
DF 605	708x635	254-358	0 - 60°	365 - 410	0-40°
DF 606	1006x905	380-470	0 - 60°	470 - 610	0-40°

E.P.D.M. withstands temperatures from -50°C to 115°C, & up to 150°C intermittently

***IMPORTANT:** For a 60° pitch, do not cut below the first three sizing ribs on the 603, 605, and 606.



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With well over a decade of business experience, Morgan understands what it takes to grow a brand from the ground up.


Having developed multiple businesses and charities, in industries including Health, Marketing and IT, Morgan has the ability to adjust his approach to suit the unified goal, with an unequivocal drive to succeed in anything he does.


Whilst Morgan loved the challenges of business he knew his true passion lay with sales. Having worked with some of Australasia's largest brands including British Petroleum, Mobil, Coles and Woolworths, Morgan understands the need to deliver, on time, every time, a high level of work to exceed expectations.

Morgan's goal in the Real Estate industry is to remove the stigma sometimes attached to Real Estate Salespeople, delivering an experience that is holistic, genuine and professional.

Listing with Morgan will get you a high-level negotiator, with years of business experience, who's prepared to 'go into bat' for you.

 10 years of social media marketing.

 15 years in sales.

 12 years running businesses.

 An unwavering drive.

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REFERRAL REWARDS



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RESULTS IN A LISTING & SALE, EARN
YOURSELF 12 ERNEST RUTHERFORD'S

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