



# PROPERTY INFO PACK

**1-5/20 BEWDLEY STREET**

PREPARED BY MORGAN PERRY & ANDY WILLIAMS

OFFICE ROAD  
REAL ESTATE

AGENT X (2021) LTD - LICENSED AGENT REAA (2008)



MORGAN  
PERRY  
RESIDENTIAL

# 1-5/20 BEWDLEY STREET, SPREYDON

## BEAUTIFUL ON BEWDLEY - PRICED TO SELL

### FEATURES:



62-64m<sup>2</sup>



2



1.5



1



1 (car space)

### PROPERTY DETAILS:

Address: 1-5/20 Bewdley Street

Legal Description: n/a

Property Type: Townhouse (5 units available)

Sale by: Fixed pricing

Close To: Inner City, Barrington Mall,  
Cashmere Hills, Bus Routes

## PROPERTY DESCRIPTION:

### BEAUTIFUL DESIGN, BEAUTIFUL LOCATION

Following the success of Vale Property's recent projects in Christchurch, Vale Property & Office Road are proud to present 20 Bewdley Street, an architecturally-designed, boutique development of just five townhouses located in Spreydon and close to Christchurch CBD.

### Beautiful Design Paired With Long-lasting Quality:

These stunning homes offer superior contemporary living in an unbeatable location. Vale Property's new bespoke design, leading-edge materials and quality construction raises this development above the rest, resulting in highly efficient, warm, dry, healthy and low-maintenance homes that make modern living a breeze.

### Everything You Need On Your Doorstep:

Located in the quiet, safe suburb of Spreydon and close to Cafés, restaurants, takeaways, fitness centres, specialty shops and only 10 minutes away from the CBD your options are plentiful. Relax and unwind with a morning swim at Pioneer Recreation & Sports Centre, or commute your way to the CBD for an evening movie at Hoytes Entx or a drink on The Terrace.

### The Homes:

The boutique nature of this five-unit development means you'll enjoy peace and privacy while still having quick access to everything the Spreydon and the closely located Christchurch CBD has to offer. Each home comes with a Fisher and Paykal whiteware package, a Daikin Hi-Wall heat pump and high-end fixtures & fittings.

Each home is intelligently designed to provide effortless living, with two bedrooms (with wardrobes) upstairs, along with the main bathroom. Downstairs, open-plan living flows out to private landscaped courtyard gardens, while an additional downstairs WC provides added convenience.

These beautiful homes won't last long, so get in touch today!

# RENDERS





# ADDITIONAL DOCUMENTS

## 1-5/20 BEWDLEY STREET

PREPARED BY MORGAN PERRY & ANDY WILLIAMS

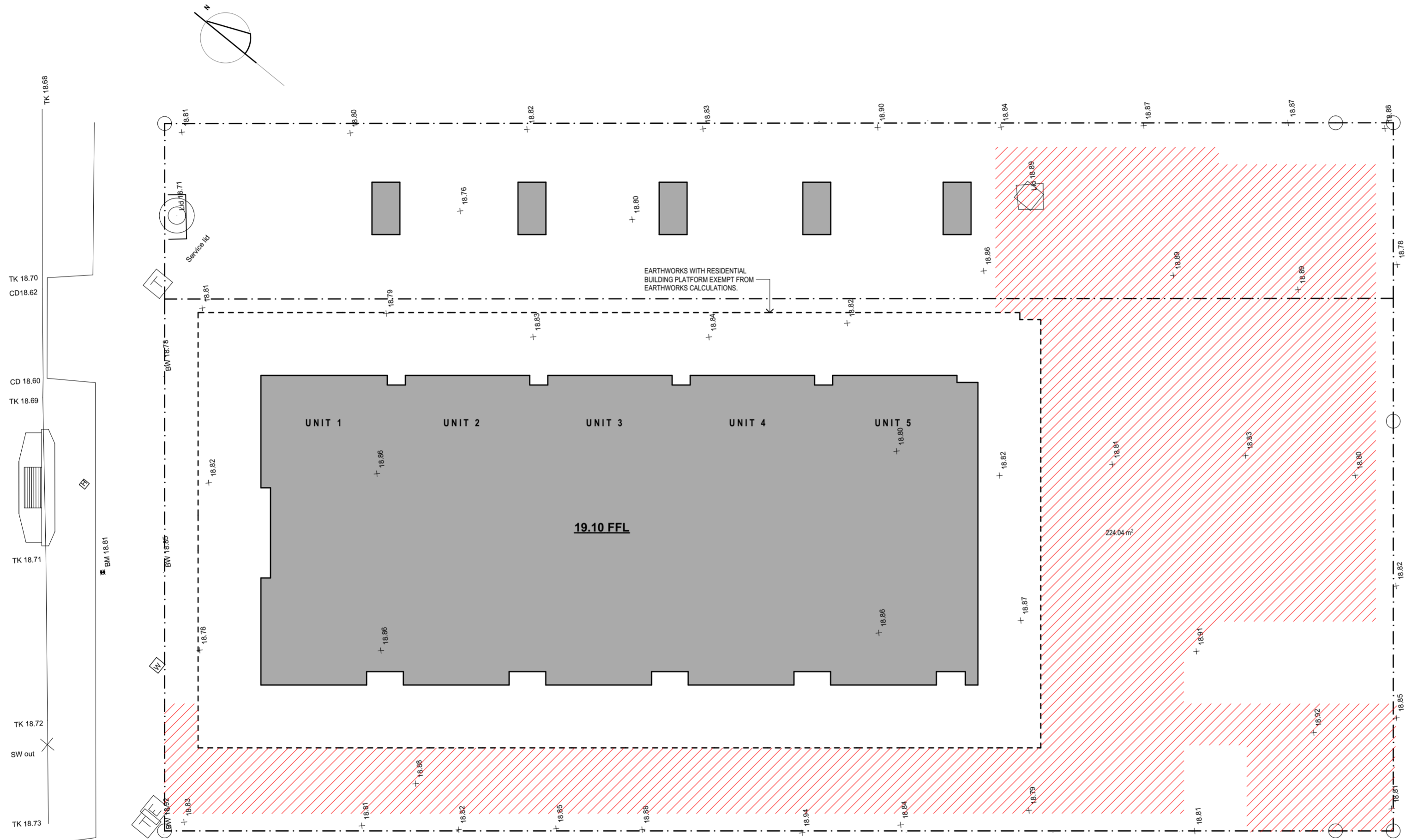
OFFICE ROAD  
REAL ESTATE

AGENT X (2021) LTD - LICENSED AGENT REAA (2008)



MORGAN  
PERRY  
RESIDENTIAL

CL 18.76  
CL 18.72  
CL 18.70  
var. 18.18.1



**SITE INFORMATION**

**LEGAL DESCRIPTION:**

LOT 9 DP 17552

ADDRESS:  
20 Bewdley Street

**SITE AREAS:**

SITE AREA:  
713.78m<sup>2</sup>

BUILDING AREA:  
184.87m<sup>2</sup>

SITE COVERAGE:  
25.90%

**LANDSCAPE AREAS:**

REFER LANDSCAPE PLAN

**EARTHWORKS:**

RED FILL ALLOWANCE FOR 200mm DIG  
OUT FOR DRIVEWAY AREAS TO ALLOW  
FOR 400mm COMPACTED HARD FILL FOR  
BASE OF CONCRETE/ASPHALT AREAS  
224.04m<sup>2</sup> X 0.60m = 134.42m<sup>3</sup>

20 Bewdley Street

Site Plan.

Drawing Sheet

**A1.1**

Scale

SCALE @A2

File

21.547

Date

December 2021

Drawn

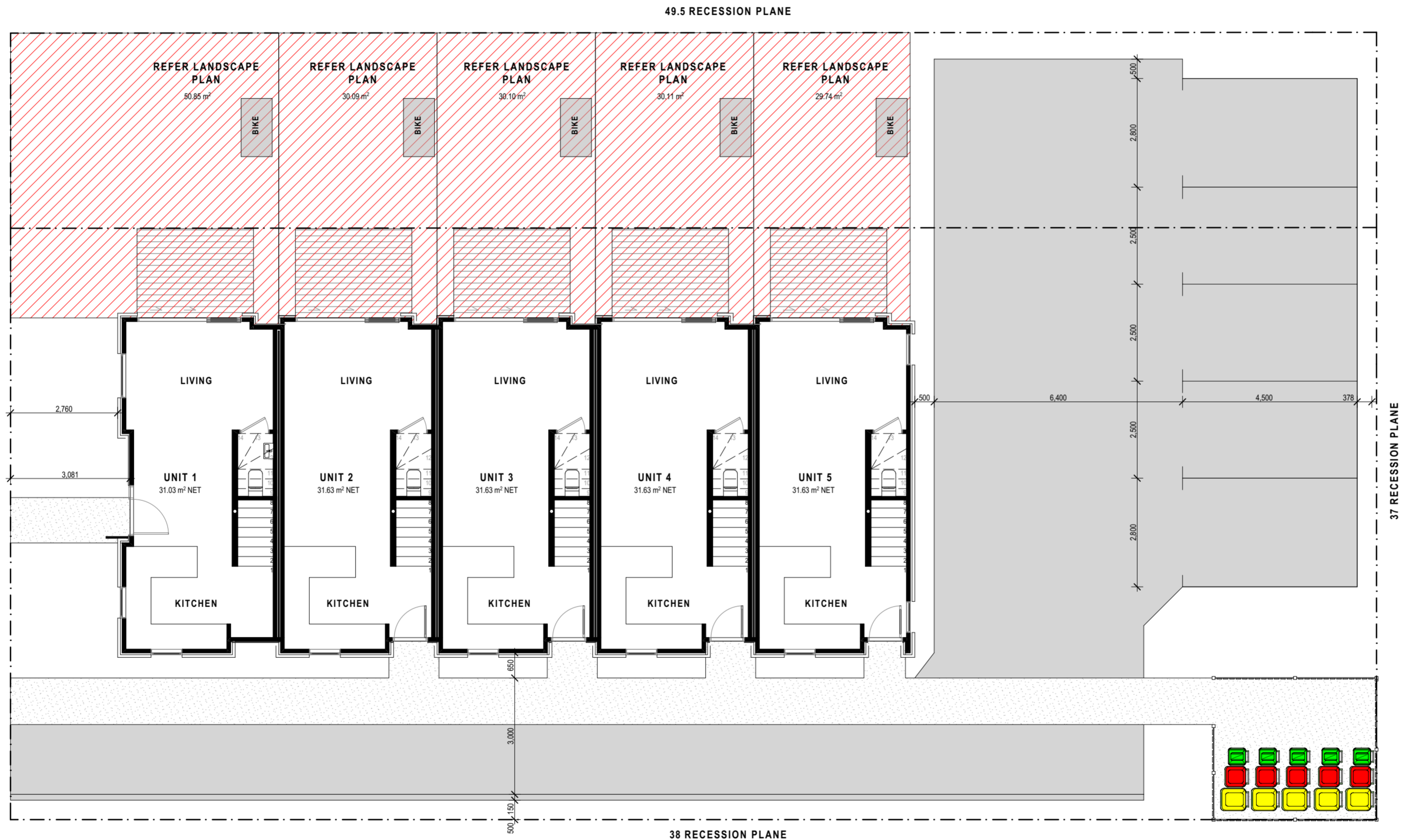
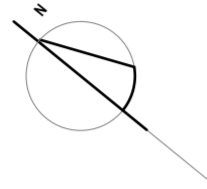
SJC

Revision

**E**

LEVEL 2  
7/71 GLOUCESTER STREET  
CHRISTCHURCH, 8013  
NEW ZEALAND  
WWW.VALEPROPERTY.CO.NZ

**Vale**



20 Bewdley Street

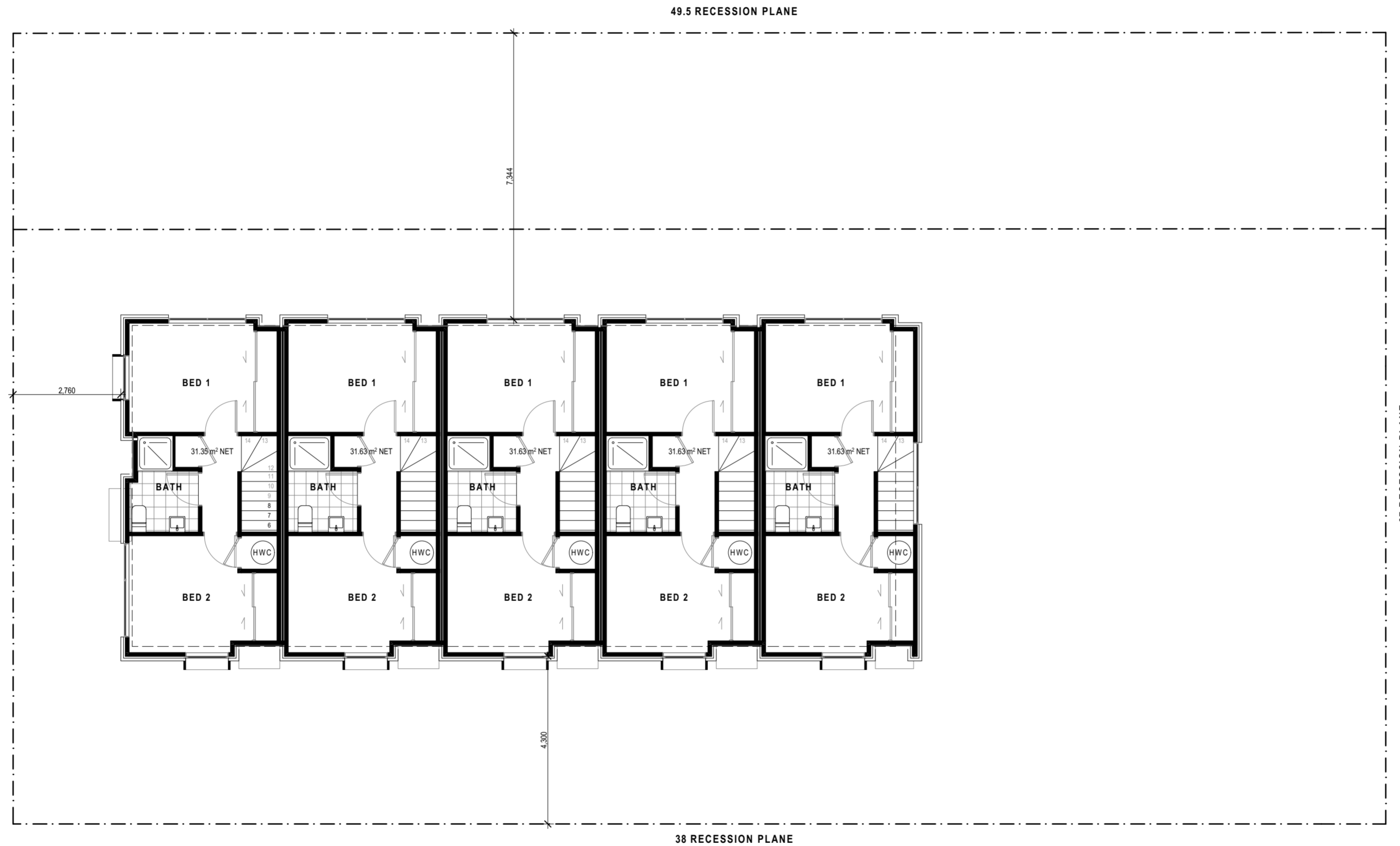
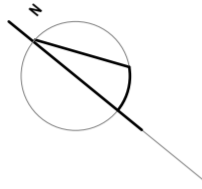
Ground Floor Plan.

Drawing Sheet **A1.4**

Scale SCALE @A2  
 File 21.547  
 Date December 2021  
 Drawn SJC  
 Revision **E**

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 7/71 GLOUCESTER STREET  
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20 Bewdley Street

First Floor Plan.

Drawing Sheet **A1.5**

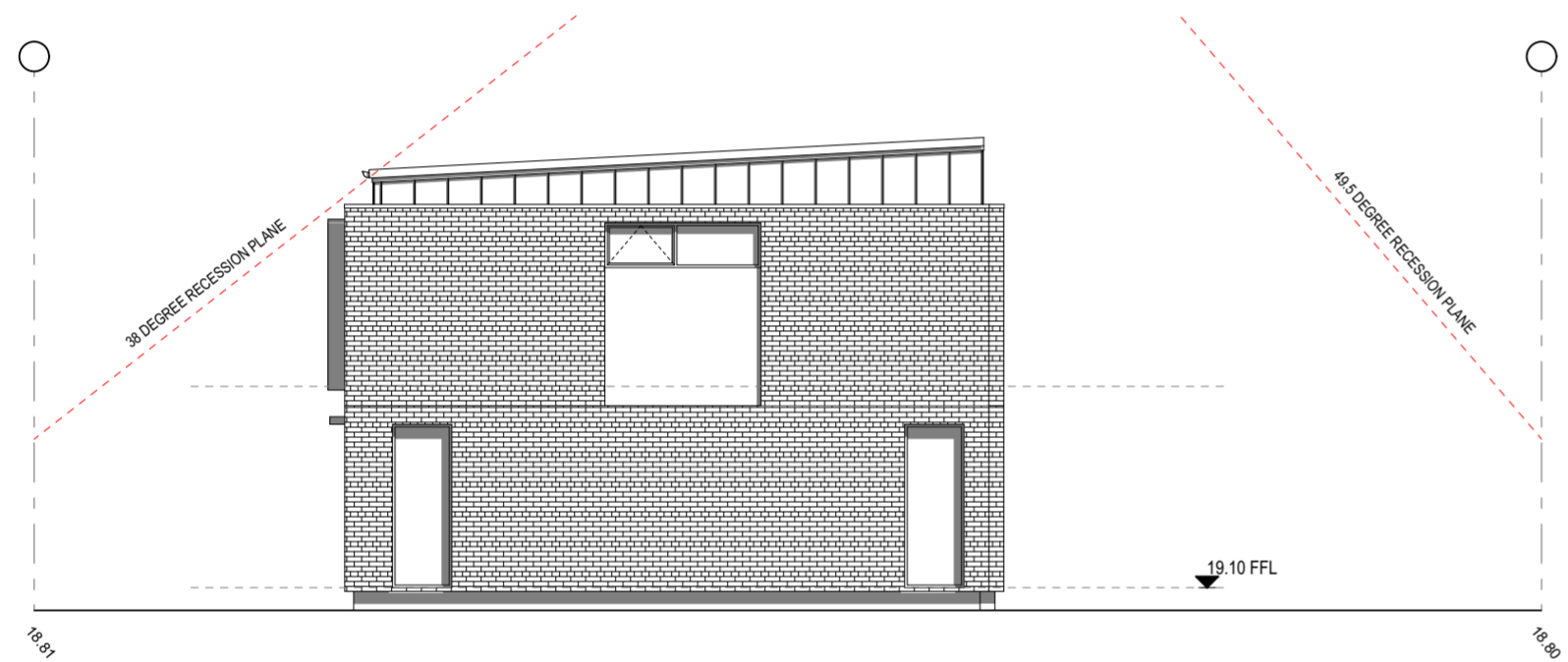
Scale SCALE @A2  
File 21.547  
Date December 2021  
Drawn SJC  
Revision **E**

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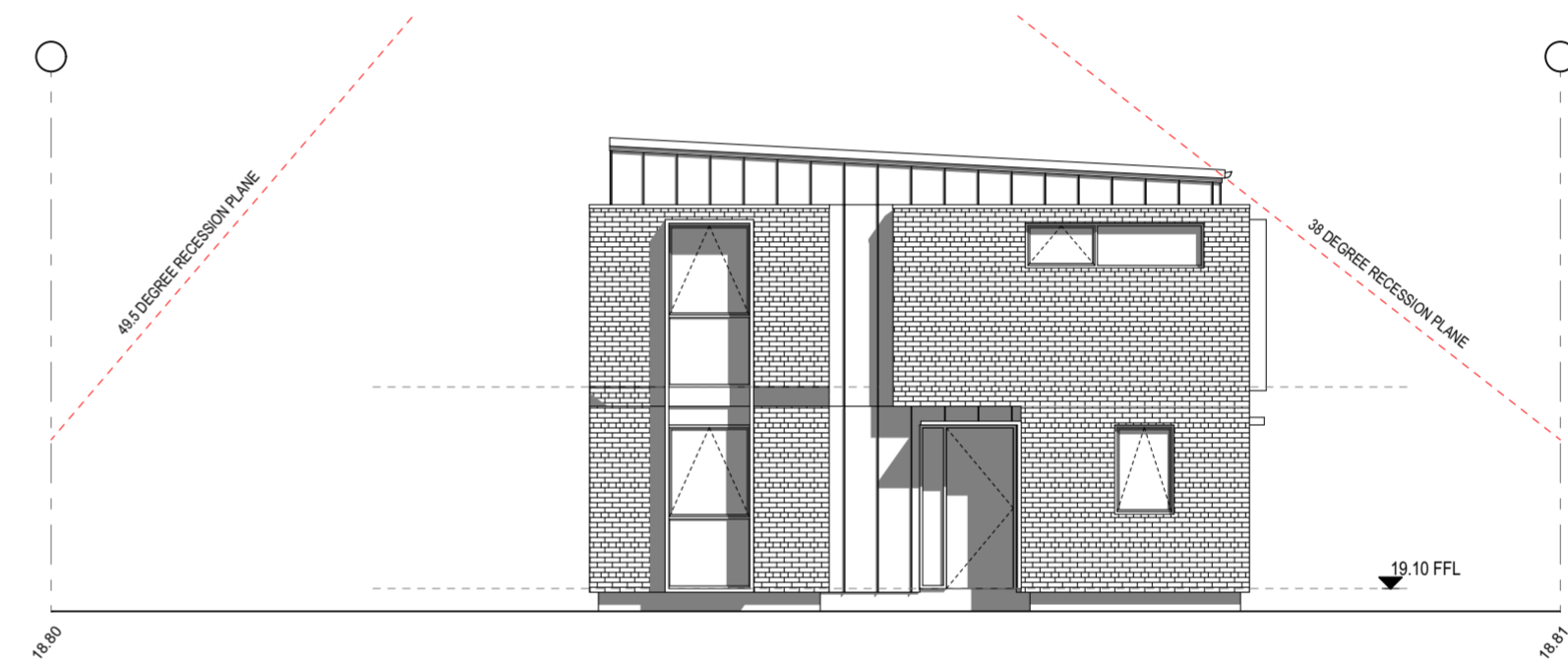
**Vale**



North East Elevation  
SCALE: 1:100@A2



South East Elevation  
SCALE: 1:100@A2



North West Elevation  
SCALE: 1:100@A2



South West Elevation  
SCALE: 1:100@A2

20 Bewdley Street

Elevations.

Drawing Sheet	<b>A2.1</b>
Scale	SCALE @A2
File	21.547
Date	December 2021
Drawn	SJC
Revision	<b>E</b>

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MOVABLE SERVICE SHED ON CHIP SURFACE

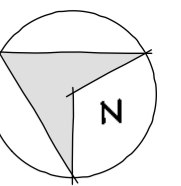
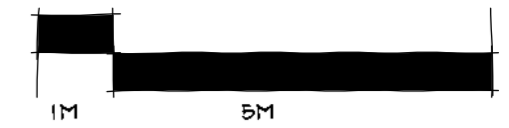
STEPPING STONES FLUSH TO LAWN

FOLD DOWN WASHING LINE

**NOTE**

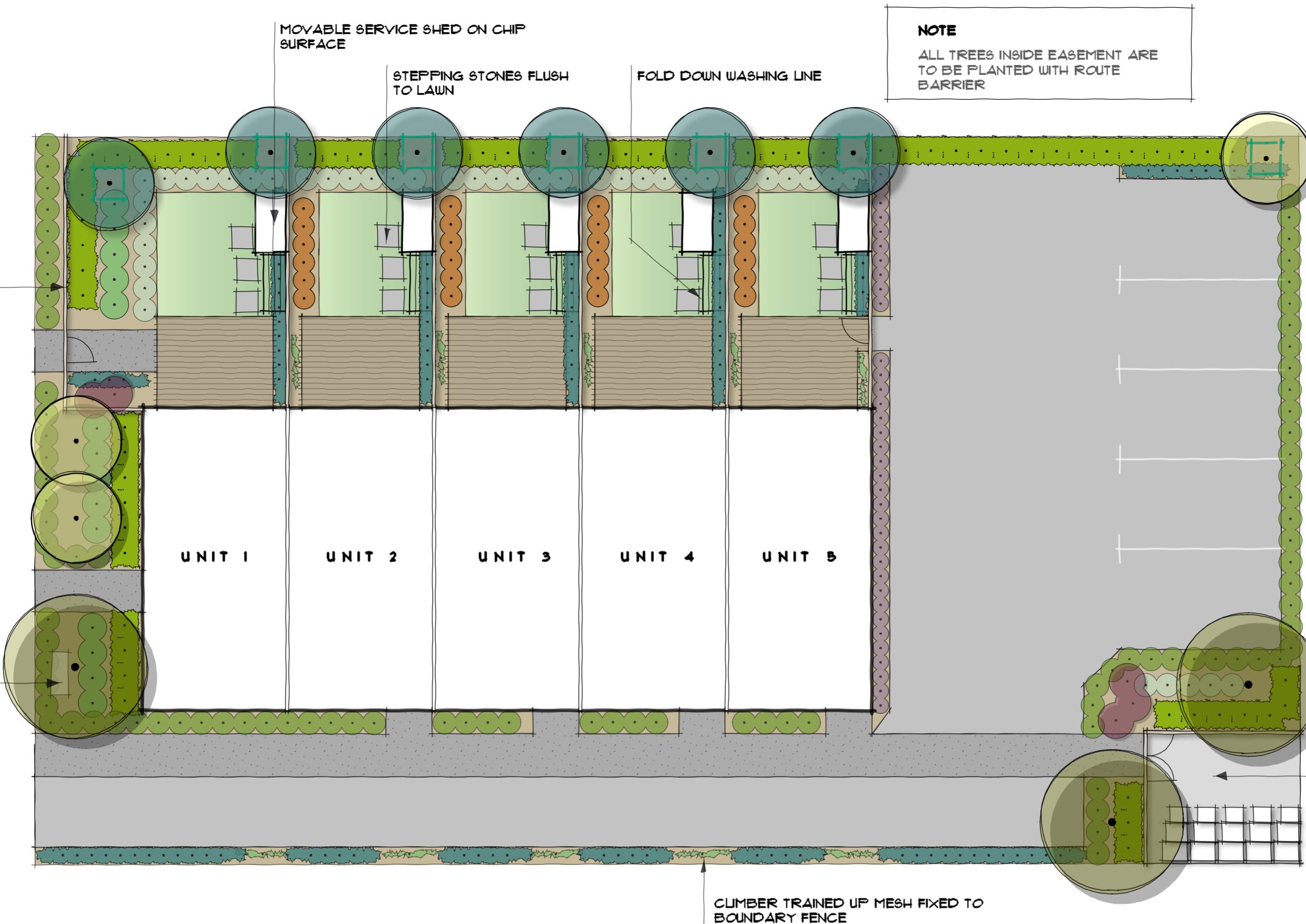
ALL TREES INSIDE EASEMENT ARE TO BE PLANTED WITH ROUTE BARRIER

SCALE BAR



1.8M 50% TRANSPARENT FENCE AND GATE RETURNING TO CORNER OF UNIT

5 X LETTER BOXES



SHARED BIN AREA WITH 1.8M 50% TRANSPARENT TIMBER FENCE AND DOUBLE GATE

**NOTE**

REFER TO THE ARCHITECT'S DRAWINGS FOR LEVELS

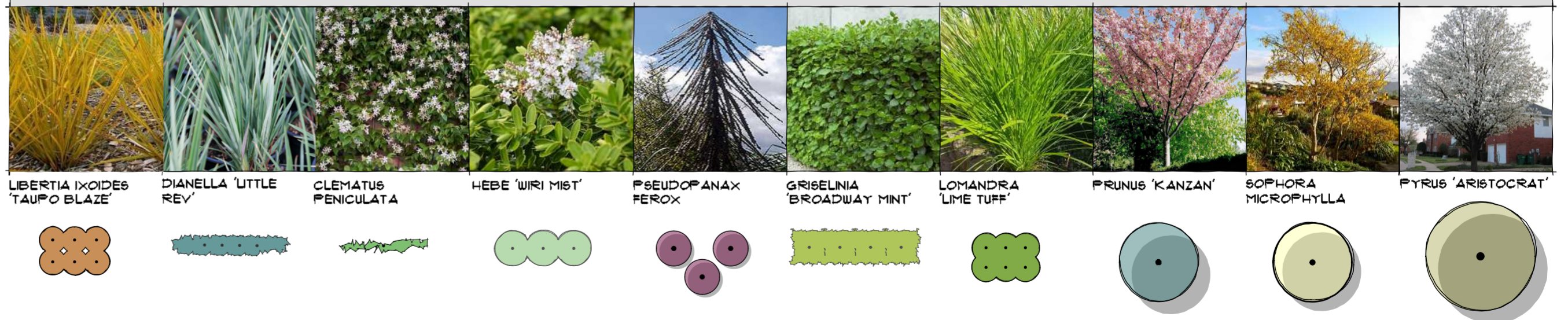
CLIMBER TRAINED UP MESH FIXED TO BOUNDARY FENCE

**SURFACES KEY**

TOTAL SITE AREA 713.50 M<sup>2</sup> (35.90 % PERMEABLE) (30.00 % LANDSCAPING)

	GARDEN BED (BARK MULCH)	168.48 M <sup>2</sup>
	LAWN	45.76 M <sup>2</sup>
	EXPOSED AGGREGATE WITH DECORATIVE SAW CUTS	47.80 M <sup>2</sup>
	TIMBER DECKS	41.67 M <sup>2</sup>
	CARPARK / DRIVE / BIN AREA	232.67 M <sup>2</sup>
	CHIP SURFACE UNDER SHEDS	6.96 M <sup>2</sup>

**PLANT IMAGES**



**NOTE**

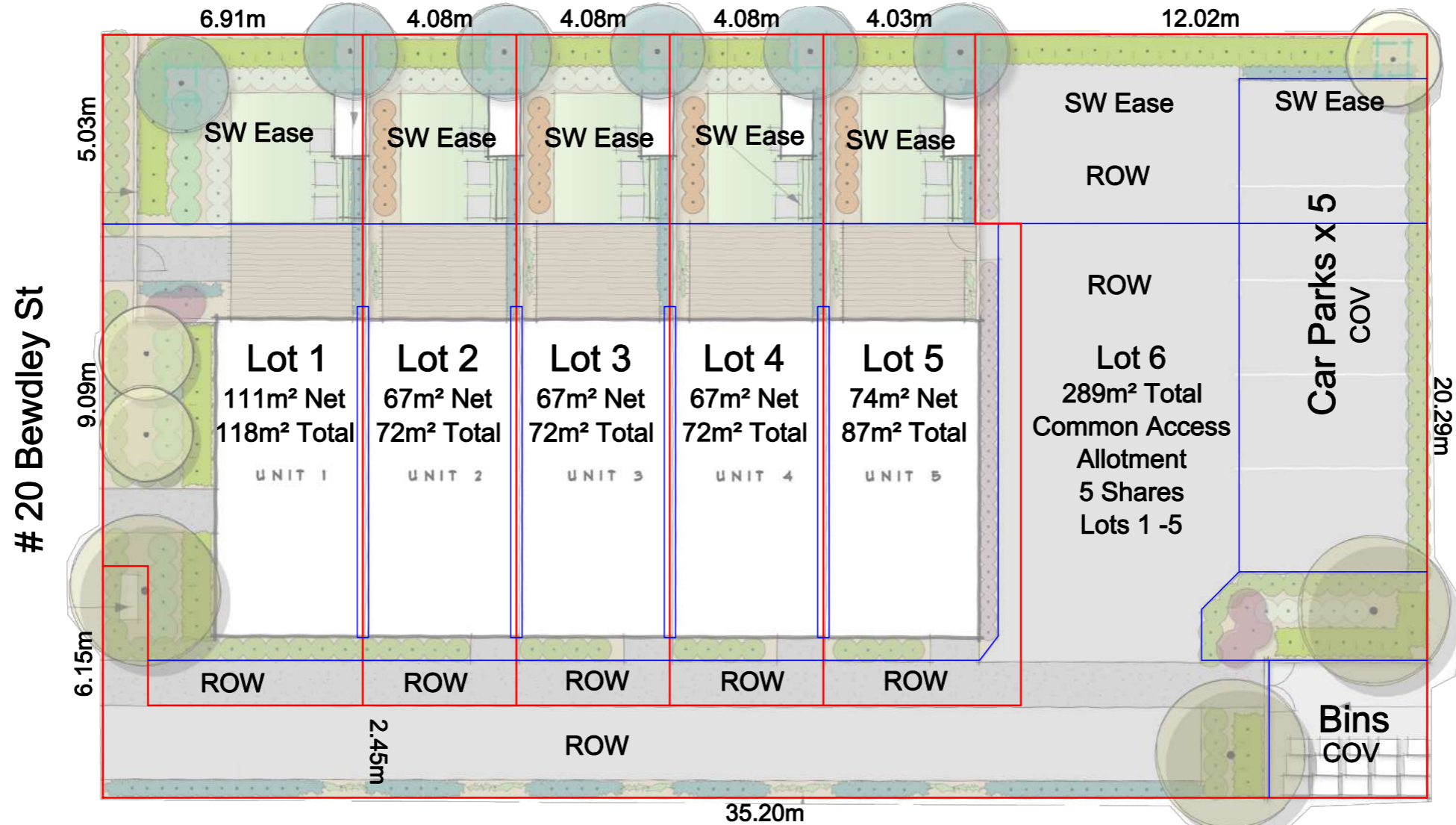
THIS PLAN IS AT A CONCEPTUAL LEVEL SUBJECT TO FURTHER DESIGN DEVELOPMENT. IT IS NOT TO BE SCALED OFF OR USED FOR ANY CONSTRUCTION PURPOSES

**LANDSCAPE PLAN FOR CONSENT**  
20 BEWDLEY STREET, CHRISTCHURCH

SCALE:	1: 100 @ A2
DATE:	16 DECEMBER 2021
PAGE:	1 OF 1
REVISION:	2
DRAWN BY:	D. GREIG

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NEW ZEALAND  
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**Note:**

- 1) Areas and dimensions are subject to final survey and deposit of plans.
- 2) This plan has been prepared for marketing purposes only. No liability is accepted if the plan is used for any other purpose.
- 3) Any measurements taken from information which is not dimensioned on the electronic copy are at the risk of the recipient.
- 4) This plan is subject to the granting of subdivision and/or land use resource and building consents and should be treated as a proposal until such time as the necessary consents have been granted by the relevant authorities.

**Amalgamation Conditions:**

1. That Lot 6 hereon (Access Lot) be held as to 5 undivided 1/5th shares by the owners of Lots 1-5 as tenants in common in the said shares and that individual records of title issue.

**Easement Notes:**

ROW = Right of way and services easements  
 COV = Right to park or Bins Covenant & ROW  
 Party Wall easements to be created between all adjoining units.  
 Service easements to be created as required and to be finalised at s223 stage.

**Concept Plan for Marketing Purposes Only**

**6x Lot Fee Simple Subdivision Conversion from Multi-Unit Residential Complex**



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Rev.	Date	Revision Details	By

Subdivision Scheme Plan # 20 Bewdley Street, Spreydon,  
 Lot 9 DP 17552

Client	Surveyed	Signed	Date	Job No.	Drawing No.
				15459	1
<small>Notes:</small> All dimensions shown are in meters unless shown otherwise. Any person using Clark Fortune McDonald drawings and other data accepts the risk of: - Using the drawings and other data in electronic form without requesting and checking them for accuracy against the original hard copy versions. - Ensuring the information is the most recent issue. - Copyright on this drawing is reserved.	Drawn	Signed	Date	Scale	
	GR		11.02.2022	1:150 @ A3	
	Designed	Signed	Date	Datum & Level	Rev.
				CCC 2019	RA

## Specification

### General

Materials and Workmanship	The proposed work shall comply with the following requirements: a. Statutory Laws and Regulations b. The Building Act c. Local Authority Bylaws d. New Zealand Building Code: Acceptable Solutions e. Health & Safety & Employment Act f. Appropriate NZ Standards
Ownership Structure	Fee Simple

### Construction

Foundation	Enhanced concrete foundation slab
Framing	90 x 45 SG8 w 2400 mm ceiling height
Intertenancy Wall	GIB Barrier System
Joists	240 x 45 SG8
Flooring	20 mm Strandboard, H3 treated to wet areas
Insulation	Glass wool insulation Wall - R2.6 Ceiling - R4 Intertenancy Wall - R2.2

### Exterior

Roof	Metalcraft Roofing T-Rib
Fascia & Gutter	Colorsteel gutters w 80 mm dia. Colorsteel downpipes
Exterior Cladding	Monopitch Ground Floor - 70 series brick veneer, Cedar horizontal weatherboards, Dimond Heritage Tray First Floor - 70 series brick veneer, Cedar horizontal weatherboards, Dimond Heritage Tray
Window and Door Joinery	Double glazed, powder coated aluminium
Entry Door	Aluminium w digital touch pad door lock
Garage Door	N/A

### Interior - General

Door Hardware	Lever action handles satin chrome
Internal Doors	Pre-hung Door - Paint finish flush MDF Hollowcore Cavity Slider Door - Paint finish flush MDF Hollowcore Wardrobe Slider Door - Paint finish GIB/MDF
Blinds	Roller blinds with block out fabric

**General (continued)**

Electrical	LED recessed light fittings, double plate powerpoints, Cat 6 data cabling - Living & master bedroom, TV aerial outlets - Living & master bedroom
Flooring	Carpet - Carpet with foam underlay - Living, bedrooms, hallway & stairs Vinyl Planking - Timber or vinyl planking - Kitchen Tiles - Bathroom - Ceramic tiles with ceramic tile skirting
Heating	Daikin Hi-Wall heat pump 6.0kW heating & 5.0kW cooling
Skirting	60 mm bevelled MDF, ceramic tile skirting to wet areas
Wall Linings	GIB
Wardrobe Joinery	Melamine hanging/shelving unit
Water Heater	250L hot water cylinder

**Kitchen**

Benchtop	Acrylic, stone
Kitchen Joinery	Melamine carcass
Doors & Door Fronts	Melamine
Handles	Handleless
Kitchen Mixer	Uno goose chrome neck
Splashback	Melamine
Appliances	Oven - Fisher & Paykel - OB60SC7CEX2 Cooktop - Fisher & Paykel - CI604CTB1 Rangehood - Fisher & Paykel - HP60IDCHX2 Dishwasher - Fisher & Paykel - DD60SAX9 Washer Dryer - Fisher & Paykel - TBC Refrigerator - Fisher & Paykel - TBC

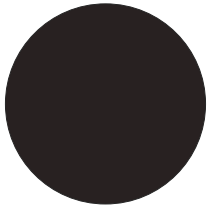
**Bathroom**

Shower Base	Acrylic
Shower Walls	Ceramic tiles
Shower Glazing	Frameless glass
Shower Mixer	Uno chrome
Shower Rose & Slide	Splash plus column shower chrome
Toilet	Back to wall
Vanity	Soft 650 wall hung 2 drawers 650 mm - Melamine French Oak
Vanity Mixer	Uno curved spout chrome
Mirror	Mirror cabinet 600 2 doors - Melamine French Oak
Heated Towel Rail	Chrome heated towel rail

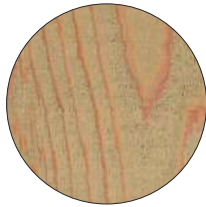
## Colour Schedule

### Exterior - Monopitch

Roof, Fascia, Gutter & Downpipes	Flaxpod
Soffit	Resene Alabaster
Exterior Cladding	
Ground Floor	70 series brick veneer - Viblock Kiwibrick: Natural Cedar horizontal weatherboard - Resene Wood-X Damper Dimond heritage tray - Flaxpod
First Floor	70 series brick veneer - Viblock Kiwibrick: Natural Cedar horizontal weatherboard - Resene Wood-X Damper Dimond heritage tray - Flaxpod
Window and Door Joinery	Flaxpod
Entry Door	Flaxpod
Garage Door	N/A



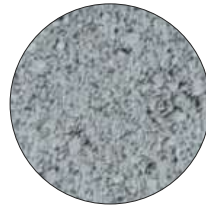
Colorsteel  
Flaxpod



Resene Wood-X  
Damper



Viblock Kiwibrick:  
White



Viblock Kiwibrick:  
Natural

## Colour Schedule

### Interior

Carpet	Feltex Cable Bay Coles
Vinyl Planking	Karndean Opus - Niveus

### Kitchen

Bench Top	Silestone White Storm
Door & Drawer Fronts	Bestwood Subtle Grey Velvet, Melteca Classic Oak Puregrain
Splashback	300 x 75 white tiles with grey grout

### Bathroom/Ensuite

Tiling	Floor - 600 x 600 grey tiles with grey grout Shower walls - 600 x 600 grey tiles, 150 x 150 matt white tiles with grey grout
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### Paint

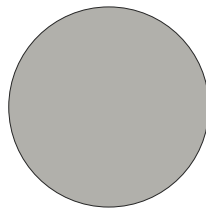
Ceiling, Doors & Reveals	Resene Double Alabaster
Walls	Resene Sea Fog



Feltex Cable Bay  
Coles



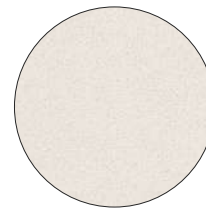
Karndean Opus:  
Niveus



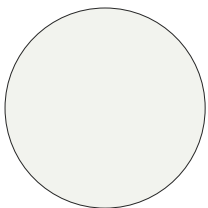
Bestwood Subtle  
Grey Velvet



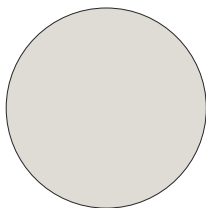
Melteca Classic Oak  
Puregrain



Silestone White  
Storm



Resene Double  
Alabaster



Resene Sea Fog

## Chattels

### Exterior

---

Letter box

---

Clothes line

---

Aerial

---

### Interior

---

Appliances

Cooktop

Dish drawer

Oven

Rangehood

Refrigerator

Washing Machine

---

Roller blinds with blackout fabric

---

Fixed floor coverings

---

Light fittings

---

Heat pump and remote

---

Bathroom heater x 1

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Heated towel rail x1

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Smoke alarms

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## Residents Association Budget

### General Levies

Insurance	\$6,050
Grounds maintenance lawns & gardening contractor/s	\$1,000
Insurance valuation fees	\$1,000
Residents Association management fee	\$1,400
<b>Total Budget (incl. GST)</b>	<b>\$9,450</b>
<b>Total Budget Per Unit (incl. GST)</b>	<b>\$1,890</b>

Insurance Premium: This is an estimate of the annual insurance premium which includes Office Bearers Liability Insurance. Office Bearers Liability responds to civil claims made against committee members for Wrongful Acts committed or allegedly committed in their capacity as officers of the Resident Society. The insurance covers liability to the claimant and the costs of defending the claim. Defence costs can be significant and are not always recovered in full from the claimant, whether or not the claim is justified.

Long Term Maintenance Fund: A LTMF has been provided as an initial contribution towards funding the Resident Society's LTMP for common areas like a common driveway.

This is a preliminary budget which has been prepared by Oxygen in advance based on information supplied and estimated. The actual expenses may vary from these estimates.



## Price Schedule

Unit	Configuration	Floor Area (m <sup>2</sup> )	Outdoor Area (m <sup>2</sup> )	Price (\$)
1	2 bedroom, 1.5 bathroom, with carpark	62	51	659,000
2	2 bedroom, 1.5 bathroom, with carpark	64	30	639,000
3	2 bedroom, 1.5 bathroom, with carpark	64	30	639,000
4	2 bedroom, 1.5 bathroom, with carpark	64	30	639,000
5	2 bedroom, 1.5 bathroom, with carpark	64	30	649,000

## Units 1-5, 20 Bewdley Street, Spreydon



2 Bedrooms



1 Bathroom



1 Living



1 Car space

### Key Aspects Considered

- Two storey townhouse with carspace and courtyard area
- Open plan kitchen, dining and living on ground floor
- Bedrooms and bathroom on first floor
- Seperate laundry, modern appliances, heatpump
- Popular location, close to amenities and the city
- Condition of rental market as at 30 November 2021

We have inspected the property and in today's market, we believe this property will achieve a rent of:



**\$480 to \$520 per week**



Monique Inglis

**Business Development Manager**

Mobile: 029 7777 029

Email: [m.inglis@ironbridge.co.nz](mailto:m.inglis@ironbridge.co.nz)

Disclaimer: The above rental appraisal is based on our market opinion today. The actual rent achieved will be based on market and seasonal conditions at the time of letting. Whilst every care has been taken to provide a realistic appraisal based upon our professional judgment and current market information available, Iron Bridge Property Management accepts no liability for the accuracy and completeness of the assessment provided.

**Guaranteed Service**  
With our 10 Point Service Guarantee.

**98.9% of Iron Bridge tenants pay on time**  
We take arrears seriously!

**99+% Occupancy Rate**  
Thanks to our expert tenant selection, tenant care, and lease negotiation.

**Advertising Expertise**  
Leading advertiser (Trade Me) confirms we receive more views and watchers on our listings than the marketplace average.

**Comprehensive Tenant Screening**  
Every tenant must go through our rigorous screening process, including multi-bureau credit and background checking (inc international).

**Award-Winning Team**  
Winner of the "Excellence in Customer Service" at the Leading Property Managers Association Awards 2019.

Winner of the "Property Management Team of the Year" at the Australasian Real Estate Awards 2018.

**Online Landlord Portal**  
Landlords have access to their person online access including their latest inspections, maintenance, statements, newsletters and articles.

**The Best Advice**  
We have access to leading industry consultancy, providing accurate and practical advice on all matters compliance and tenancy-related, ensuring you are getting the best advice possible

**Happy Clients**  
Check out our outstanding Google Reviews to read about what real customers think of our service.

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**Auckland**

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Christchurch 8440

P. +64 3 961 5333

E. [realestate@ironbridge.co.nz](mailto:realestate@ironbridge.co.nz)

**99+**   
Occupancy  
Rate

**98.9**   
Tenants pay  
on time



Happy  
Clients

## Warranty

Vale offers a one year defects remediation period and a 10 year structural warranty on all new homes built, as per the New Zealand Building Act. This provides our buyers with protections that include ensuring our work complies with the New Zealand Building Code, quality workmanship, and with regards to the materials that we use.

The team at Vale are engineers who have completed hundreds of civil, geotechnical and structural jobs in the last decade being both residential and commercial, largely in technical and challenging post-quake Canterbury. This means we're used to adhering to strict regulations and codes, and also to seeking out the best builders and contractors who complete work to the highest standards.

At Vale, we build homes with the long term in mind. We seek out high quality and tested products, which require low maintenance over time. Our suppliers have their own warranties for these products, and buyers are also protected by New Zealand's consumer laws.

We will rectify any work that was a result of us (not wear and tear) within the one year defects remediation period. After this we will assist you in getting your home rectified if there are warranty issues that arise. We will provide you on completion a digital (and hardcopy, if you wish) information package on all the warranties that cover your new home (which will include warranties to the materials, products and systems in your home).

Do we offer a Master Build Guarantee?

A Master Build Guarantee provides protection for consumers who engage a builder or contractor to work on their home or property. Typically, this uses a progress payment structure where consumers pay their bill at key project milestones. This protects the consumer if the builder or contractor is unable to complete the project for whatever reason. We think the Master Builders Guarantee is a great product, but not necessarily designed for developers, so we are not part of the scheme. Instead of taking progress payments like the Master Build Guarantee, we protect our buyers by requesting a 10% deposit which is held in our solicitor's trust account until settlement, when the remaining balance is due. This way, if the project is never completed for whatever reason, the money would simply be returned to them, alleviating the risk of the builder defaulting on work.



## SELLING AGENT: MORGAN PERRY

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With well over a decade of business experience, Morgan understands what it takes to grow a brand from the ground up.

Having developed multiple businesses and charities, in industries including Health, Marketing and IT, Morgan has the ability to adjust his approach to suit the unified goal, with an unequivocal drive to succeed in anything he does.

Whilst Morgan loved the challenges of business he knew his true passion lay with sales. Having worked with some of Australasia's largest brands including British Petroleum, Mobil, Coles and Woolworths, Morgan understands the need to deliver, on time, every time, a high level of work to exceed expectations.

Morgan's goal in the Real Estate industry is to remove the stigma sometimes attached to Real Estate Salespeople, delivering an experience that is holistic, genuine and professional.

Listing with Morgan will get you a high-level negotiator, with years of business experience, who's prepared to 'go into bat' for you.

✓ 10 years of social media marketing.

✓ 15 years in sales.

✓ 12 years running businesses.

✓ An unwavering drive.



## SELLING AGENT: ANDY WILLIAMS

---

Andy Williams is not only the Business owner of Office Road Real Estate but is an award winning agent. Being awarded in the top 100 Agents in New Zealand by Rate My Agent in 2021. Andy is quickly building a great reputation with track record to boot.

Canterbury born and bred, Andy knows the ever-changing Christchurch well.

He started his career in Personal Training, so working closely with clients and helping them to achieve their own fantastic results is familiar territory to him.

Andy spent many years working in the construction sector focusing on sales and specifications, working alongside architects, developers and builders. This gave him a well-rounded understanding and sound knowledge of everything it takes to improve, build or maximise the potential of a property - from renovations to new builds and developments. It's this knowledge, experience and valuable contacts that gave Andy a strong advantage during his own property investment journey.

Fast forward to now and Andy's desire to help people achieve fantastic results remains the same, and together with his passion for property, it was a natural fit to start helping others with their own property journey.

Andy's approach is straightforward and genuine and he's prepared to have honest conversations to achieve the best possible results for all parties.

# \$1200

## REFERRAL REWARDS



REFER ME AN APPRAISAL; IF IT  
RESULTS IN A LISTING & SALE, EARN  
YOURSELF 12 ERNEST RUTHERFORD'S

# PASSING OVER OF INFORMATION

The attached material has been compiled by the collection of records, documents, or information which may have been supplied by third parties, the vendor or the vendor's agent. Accordingly, it is merely passing over the information as supplied to us.

## WARNING

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## OBTAINING ADVICE

Office Road Real Estate Limited and its licensees recommend you seek legal advice before signing a sale and purchase agreement or other contractual documents. You should also be aware you can and may need to seek technical or other advice and information prior to signing a sale and purchase agreement or other contractual document.





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